



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission
From: Doug Dansie, 801-535-7625
Date: May 11, 2016
Re: PLNPCM2016-00083 Conditional Use for Social Club

Conditional Use

PROPERTY ADDRESS: 2148 South 900 East
PARCEL ID: 16-20-131-030
MASTER PLAN: Sugar House
ZONING DISTRICT: CB (Community Business)

REQUEST: Jess Wilkerson, representing Trolley Wings, is requesting conditional use approval to operate a Social Club at approximately 2148 South 900 East. Per Section 21A.33.030 of the Zoning Ordinance, *Table of Permitted and Conditional Uses for Commercial Districts*, social clubs require conditional use approval in the CB zoning district subject to conformance with the provisions in section 21A.54.080, *Standards for Conditional Uses*, as well as those in 21A.34.300, *Alcohol Related Establishments*. Additionally, in CN and CB zoning districts, the total square footage, including patio space, shall not exceed 2,200 square feet in total. Total square footage will include a maximum 1,750 square feet of floor space within a business and a maximum of 450 square feet in an outdoor patio area

RECOMMENDATION: Based on the information in this staff report, Planning Staff finds that the proposal adequately meets the standards, subject to specified conditions, and recommends that the Planning Commission approve the requested conditional use subject to compliance with all other applicable codes and regulations and the security and operations plan being approved and recorded.

The following motion is provided in support of the recommendation: *I move that Planning Commission approve the requested Conditional Use application (PLNPCM2016-00083) subject to compliance with all other applicable codes and regulations and the security and operations plan being approved and recorded.*

ATTACHMENTS:

- A. Vicinity Map
- B. Site Plan and Interior Remodel
- C. Photos
- D. Existing Conditions
- E. Analysis of Standards
- F. Public Process and Comments
- G. Department Comments
- H. Applicant Submittal

PROJECT DESCRIPTION:

Trolley Wings is currently operating as a restaurant in a leased space as part of a shopping center located at 2148 S 900 East. The restaurant is on the north side of the shopping center facing Commonwealth Avenue. The applicant is proposing to upgrade the restaurant with a social club liquor license. The stated purpose for the license is so that they may better compete with other restaurants in the area. There will be no changes to the footprint of the overall building, although there may be renovations and changes to the interior as well as modification of an exterior roof space as a patio area.

The floor plan indicates that the area open to customers will be approximately 1608 square feet. The rest of the building will be utilized for food preparation, storage, and administration. The roof patio is being modified to be 450 square feet.

A Security and Operations Plan has been submitted to the Police and Building Official. The petitioner has indicated that the anticipated hours of operation will be between 11:00 AM – 1 AM, seven days a week. The applicant plans to have 8 employees on staff with a capacity of 91 seats.

KEY ISSUES:

No significant outstanding issues have been identified through the analysis of the project and department review comments. The Community Council supports the license, however numerous citizens expressed parking and traffic concerns. Neighbor and/or community input is included in Attachment F

DISCUSSION:

The proposed conditional use for a social club should be approved if reasonable conditions can be imposed to mitigate the reasonably detrimental effects of the proposed use. As long as certain conditions are imposed, this proposal complies with the standards for approval of Conditional Uses and is also consistent with planning policies, the Sugar House Master Plan. The analysis of this project did not identify any detrimental effects that require mitigation in order for the proposal to comply with the standards of approval.

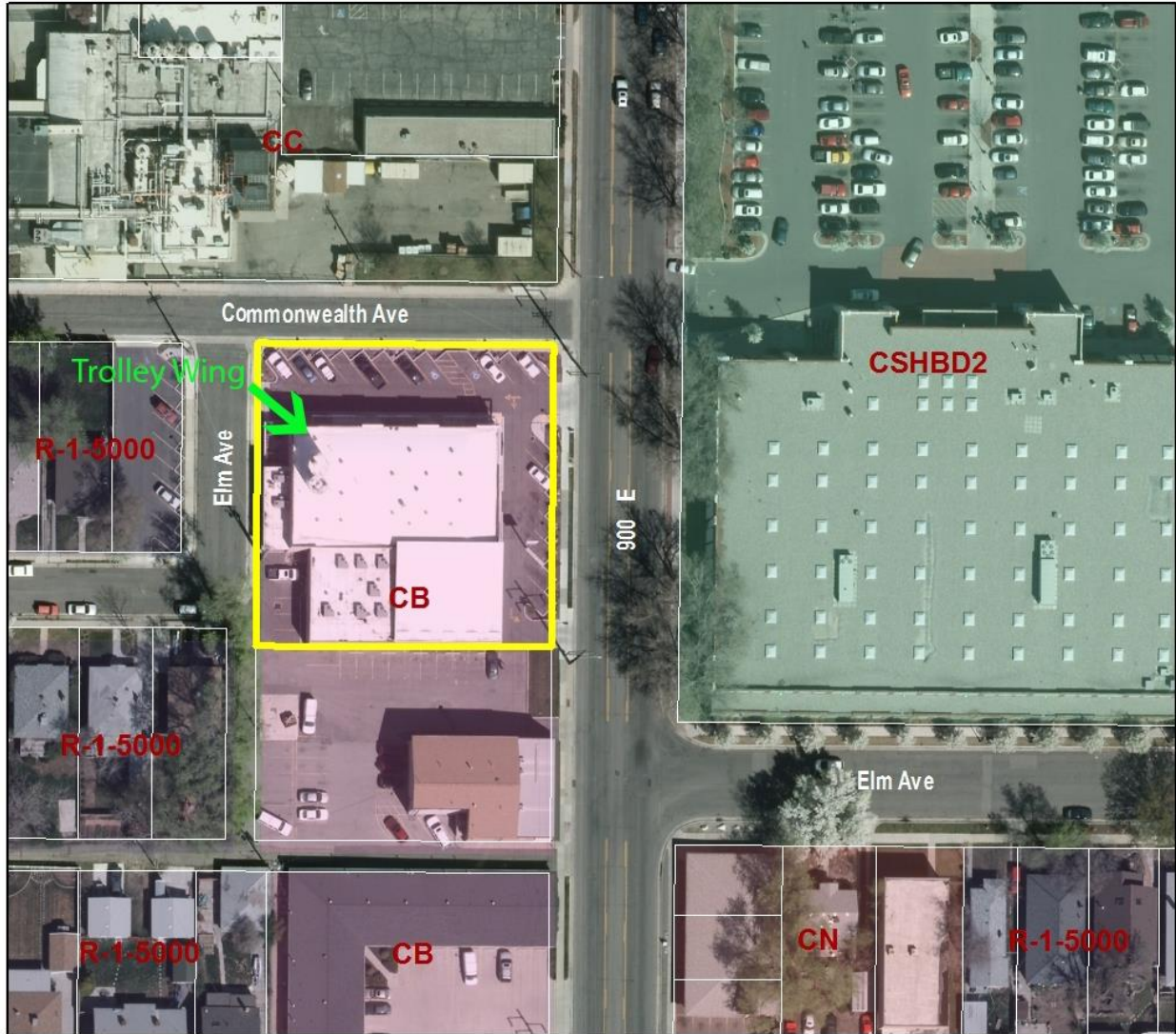
The proposed social club would operate in an existing building, currently zoned CB (Community Business). The applicant is not proposing to make any exterior changes which modify the building footprint (other than to reduce the useable roof patio to 450 square feet). The building and the proposed use is compatible with other businesses in the area. The parcel is abutted on all sides by other properties zoned CB, except to the west, which is zoned R-1/5000; but even to the west the immediately adjacent land use is a parking lot which serves the shopping center. All of the immediately surrounding parcels, contain some type of commercial use.

NEXT STEPS:

If approved, the applicant will be required to comply with the Conditions of Approval and obtain all necessary permits for the project as outlined above from the Building Services division.

If denied, the applicant would not have city approval for a social club on the subject parcel.

ATTACHMENT A: VICINITY MAP



ATTACHMENT B: SITE PLAN AND INTERIOR REMODEL

TROLLEY WING COMPANY

CONDITIONAL USE APPLICATION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
 FIRE SPRINKLER: Yes
 ZONING: CB
 PARKING: Existing
 EXISTING BUILDING AREA: 12,716 GSF
 TENANT SPACE AREA: 1,976 GSF
 Occupancy Separation: Not Required

BUILDING CODE REVIEW:

Tenant Space Area: 1976 sq. ft.
 Roof Patio Area: 480 sq. ft.
 Occupant load factor: 200 SF GROSS/ person @ ASSEMBLY
 Occupant load: 96 Occupants
 Occupancy: A-2
 Occupancy Separation: NONE
 EGRESS REQUIREMENTS:
 # of exits required (Table 1021.2): 2 exits required w/ 200' max travel distance.
 # of exits provided: 2 exits provided w/ travel distance less than 200'
 Door opening width required: 0.20' x 96" = 19.2"
 Door opening width provided: 2 @ 3'-0" = 72"

OCCUPANT LOAD CALCULATION:

AREA	OCCUPANT
SEATING AREA: 885 SF/ 15 SF PER OCC.	59
ROOF PATIO SEATING AREA: 480 SF/ 15 SF PER OCC.	32
KITCHEN/WORK AREA: 1,000 SF/ 200 SF PER OCC.	5
TOTAL OCCUPANTS	96

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES:

- a) Water Closets (Male/Female) - Required 1/1 Provided 3/3
- b) Lavatories (Male/Female) - Required 1/1 Provided 2/2
- c) Bath Tubs or Showers: 0
- d) Drinking Fountains: 2 Service Sinks: 1

PROJECT LOCATION

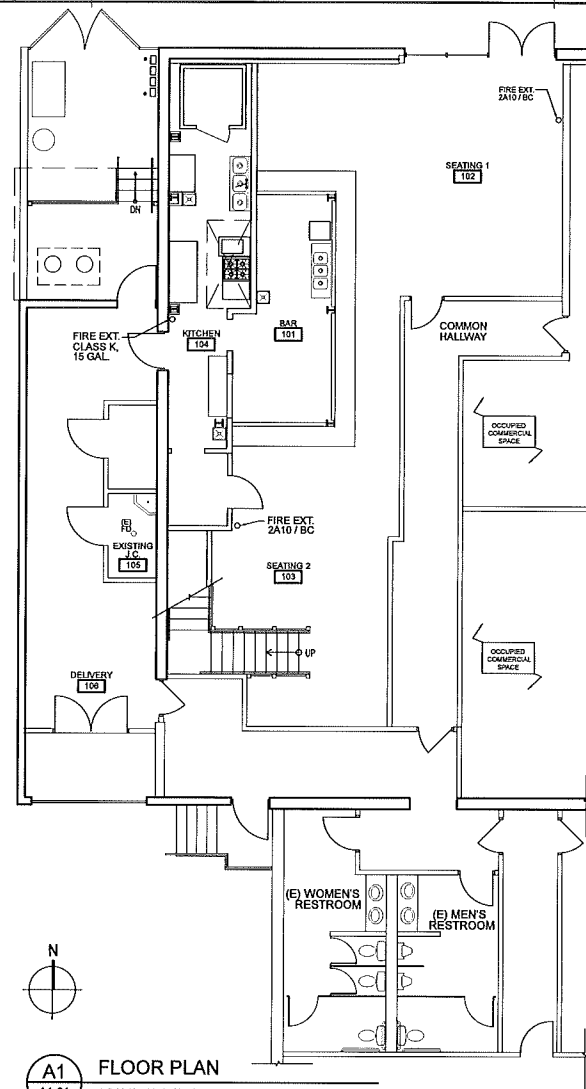


VICINITY MAP

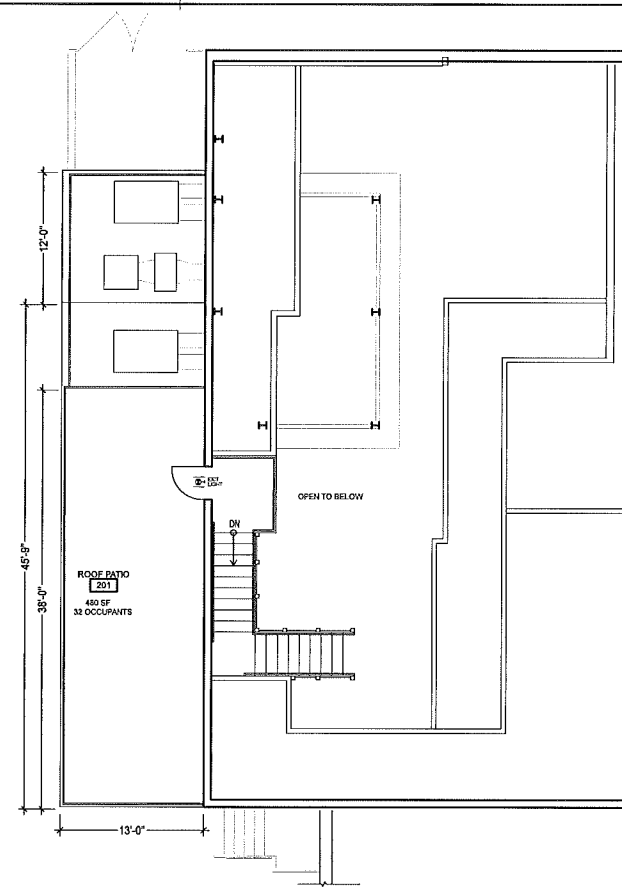
Applicable Codes:	
2012 IBC	International Building Code
2012 IMC	International Mechanical Code
2012 IPC	International Plumbing Code
2011 NEC	National Electric Code
2012 IFC	International Fire Code
2009 IECC	International Energy Conservation Code
2009 IEBC	International Existing Building Code
ADA	ANSI A117.1 - 2009
Zoning Ordinance	SALT LAKE CITY Title 21 Zoning Ordinance

OWNER

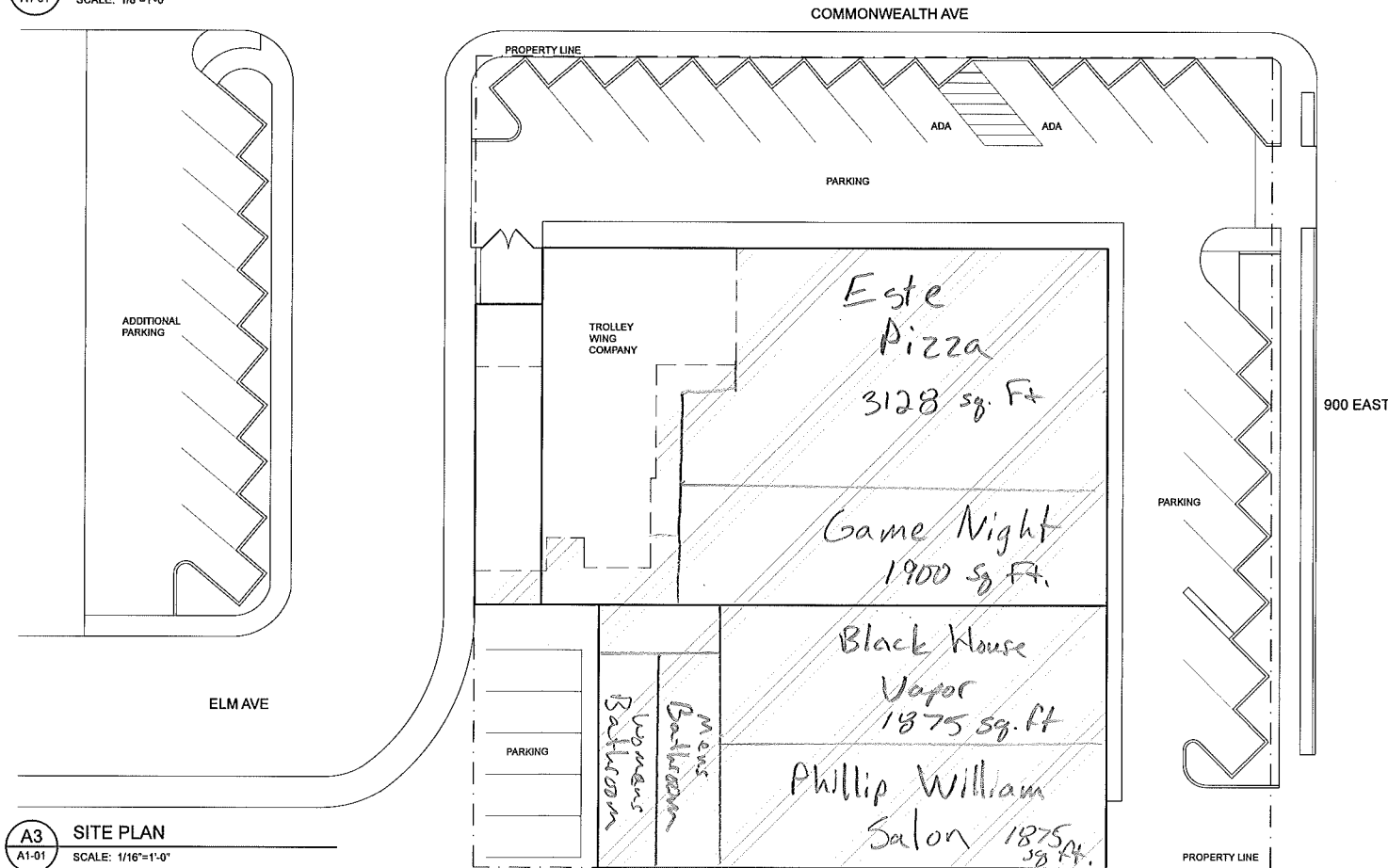
JESS WILKERSON
 2148 South 900 East
 Salt Lake City, Utah 84106
 Tel. (801) 699-6065



A1 FLOOR PLAN
 SCALE: 1/8"=1'-0"



A2 LOWER ROOF PLAN
 SCALE: 1/8"=1'-0"



A3 SITE PLAN
 SCALE: 1/16"=1'-0"

REFERENCE NOTES

1. NOTE.

SYMBOL LEGEND

(E) EXTERIOR WALL
 (E) INTERIOR WALL

(E) EXISTING
 (N) NEW

STAMP

TROLLEY WING COMPANY - ROOF PATIO ADDITION
 2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106

PROJECT DATA, FLOOR PLAN, SITE PLAN
 SCALE: AS NOTED

DATE: 02/03/16
 SHEET: A1-01

TROLLEY WING COMPANY EXTERIOR PATIO ADDITION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

SCOPE OF WORK: EXTERIOR ROOF PATIO ADDITION TO EXISTING RESTAURANT
CHANGE OF USE: NONE

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
FIRE SPRINKLER: Yes
ZONING: CB
PARKING: Existing

EXISTING BUILDING AREA: 12,716 GSF
TENANT SPACE AREA: 1,976 GSF
Occupancy Separation: Existing, Not Required

BUILDING CODE REVIEW:

Tenant Space Area: 1976 sq. ft.
New Roof Patio Area: 480 sq. ft.
Occupant load factor: 15 SF NET / person @ ASSEMBLY
200 SF GROSS / person @ WORK AREA & KITCHEN
Occupant load: 98 Occupants
Occupancy: A-2
Occupancy Separation: NONE
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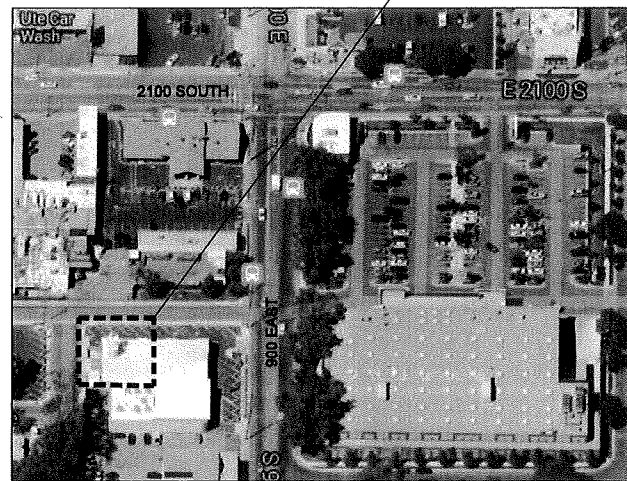
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b) Lavatories (Male/Female) - Required 1/1, Provided 2/2
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d) Drinking Fountains: 2 Service Sinks: 1

PROJECT LOCATION



VICINITY MAP

SHEET INDEX

ARCHITECTURAL

SHEET	DESCRIPTION
A1-01	COVER SHEET / PROJECT DATA / INDEX FLOOR PLAN
A2-01	ELEVATION AND SECTION

MECHANICAL

SHEET	DESCRIPTION
M201	MECHANICAL PLAN
M202	MECHANICAL ROOF PLAN

Applicable Codes:

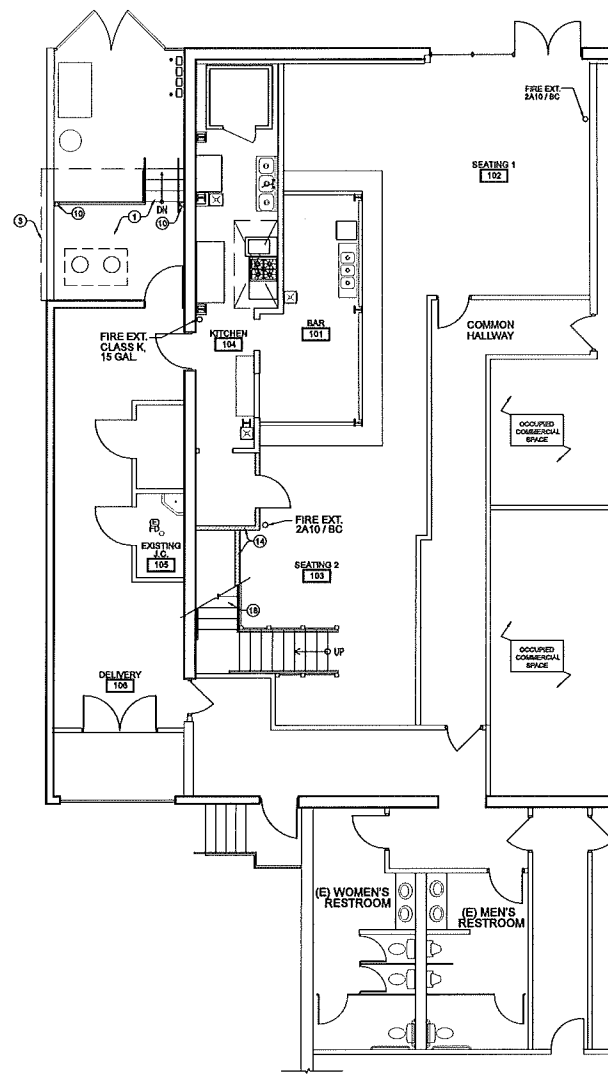
2012 IBC	International Building Code
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OWNER

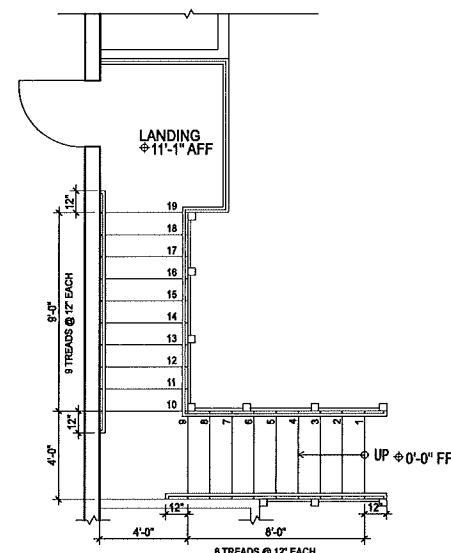
JESS WILKERSON
2148 South 900 East
Salt Lake City, Utah 84106
Tel. (801) 599-6065

HVAC

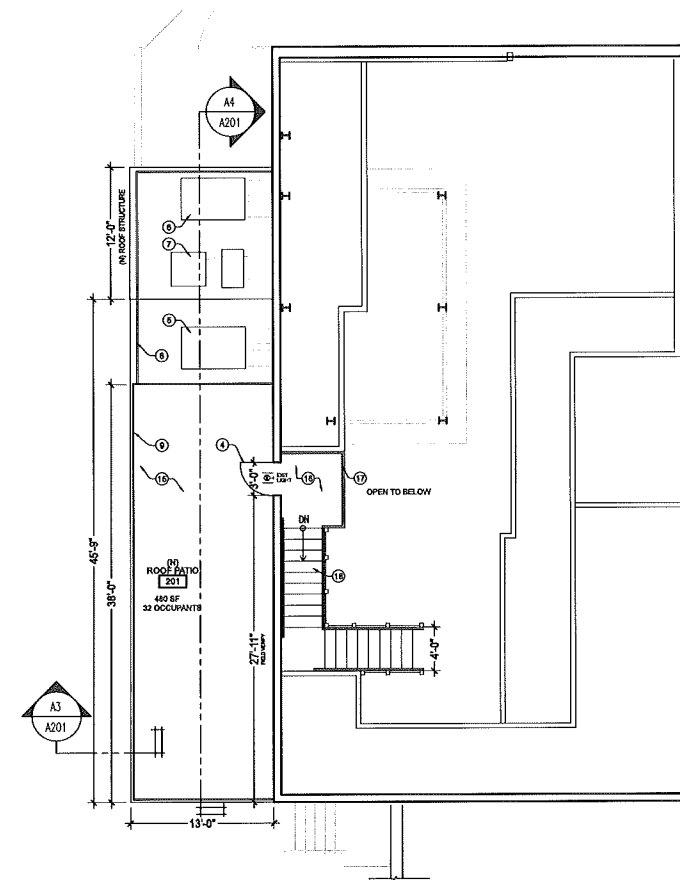
JTB Engineering, INC.
10498 S. Brooklyn View Lane
Salt Jordan, Utah 84095
Tel. (801) 707-5011
Contact: Jeff Brown



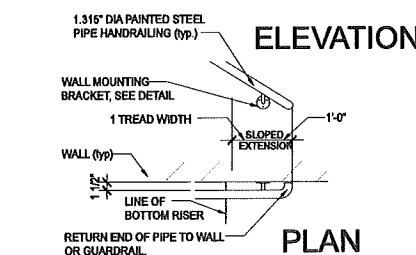
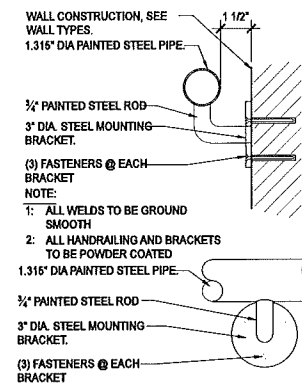
A1 FLOOR PLAN
A1-01 SCALE: 1/8"=1'-0"



A3 ENLARGED STAIR PLAN
A1-01 SCALE: 1/4"=1'-0"



A2 LOWER ROOF PLAN
A1-01 SCALE: 1/8"=1'-0"



A4 HANDRAIL DETAIL
A1-01 SCALE: 1/8"=1'-0"

REFERENCE NOTES

- (E) CONCRETE STAIR AND LANDING.
- (E) COLUMN.
- LINE OF (N) ROOF ABOVE.
- (N) H.M. DOOR AND FRAME (5'-0" X 7'-0").
- (E) RTU TO REMAIN. SEE MECHANICAL DRAWINGS.
- (N) LOCATION OF (E) RTU, SEE MECHANICAL DRAWINGS.
- (N) LOCATION OF (E) EWAP COOLER, SEE MECHANICAL DRAWINGS.
- 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
- 42" HIGH WROUGHT IRON GUARD RAIL.
- (N) 4X4 POST.
- (N) ELEVATED POST BASE.
- (E) CMU WALL.
- (E) CONCRETE STAIR.
- (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
- (N) TREX DECKING ON 2X4 SLEEPERS OVER EXISTING ROOF.
- (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
- (N) 42" HIGH GUARDRAIL.
- (N) STAIR. SEE STAIR SECTIONS ON SHEET A2-01.

SYMBOL LEGEND

- (E) EXTERIOR WALL
- (E) INTERIOR WALL
- (N) WOOD STUDS INTERIOR WALL

- (E) EXISTING
- (N) NEW

GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS.
- ALL IMPROVEMENTS SHALL COMPLY WITH GOVERNING CODES. CONTRACTOR IS RESPONSIBLE FOR FILING FOR ALL REQUIRED PERMITS AND INSPECTIONS WITH ALL APPLICABLE AGENCIES.
- PROVIDE FIRE RETARDANT TREATED PLYWOOD BACKING FOR ALL SURFACE MOUNTED ACCESSORIES, IE: TP HOLDER, MIRRORS, TOWEL BARS, GRAB BARS, KITCHEN EQUIPMENT, CABINETRY ETC. AS REQUIRED.
- SCREW WALL SHEET ROCK, NO NAILS ALLOWED.
- IT IS BEYOND THE SCOPE OF THIS DRAWING TO SHOW ALL AND EVERY DETAIL AND ASPECT OF EXISTING CONDITIONS. CONTRACTOR SHOULD FIELD VERIFY ALL EXISTING CONDITIONS.
- IT SHALL BE THE G.C.'S RESPONSIBILITY TO PROTECT ANY AND ALL ITEMS TO REMAIN AND REPAIR OR REPLACE SUCH ITEMS SHOULD THEY GET DAMAGED BY THE CONTRACTOR'S NEGLIGENCE.
- ALL NEW DIMENSIONS ARE TO FACE OF WALL AND TO FACE OF CONCRETE BLOCK OR BRICK.
- (E) = EXISTING, (N) NEW
- COORDINATE W/ LANDLORD FOR ALL ROOF PENETRATIONS. G.C. SHALL USE LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOF MEMBRANE, PATCHES, REPAIR & PENETRATIONS.
- ALL DOOR HARDWARE SHALL BE LEVEL TYPE ADA STANDARD.

STAMP

REVISIONS:

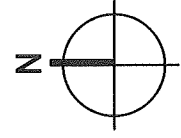
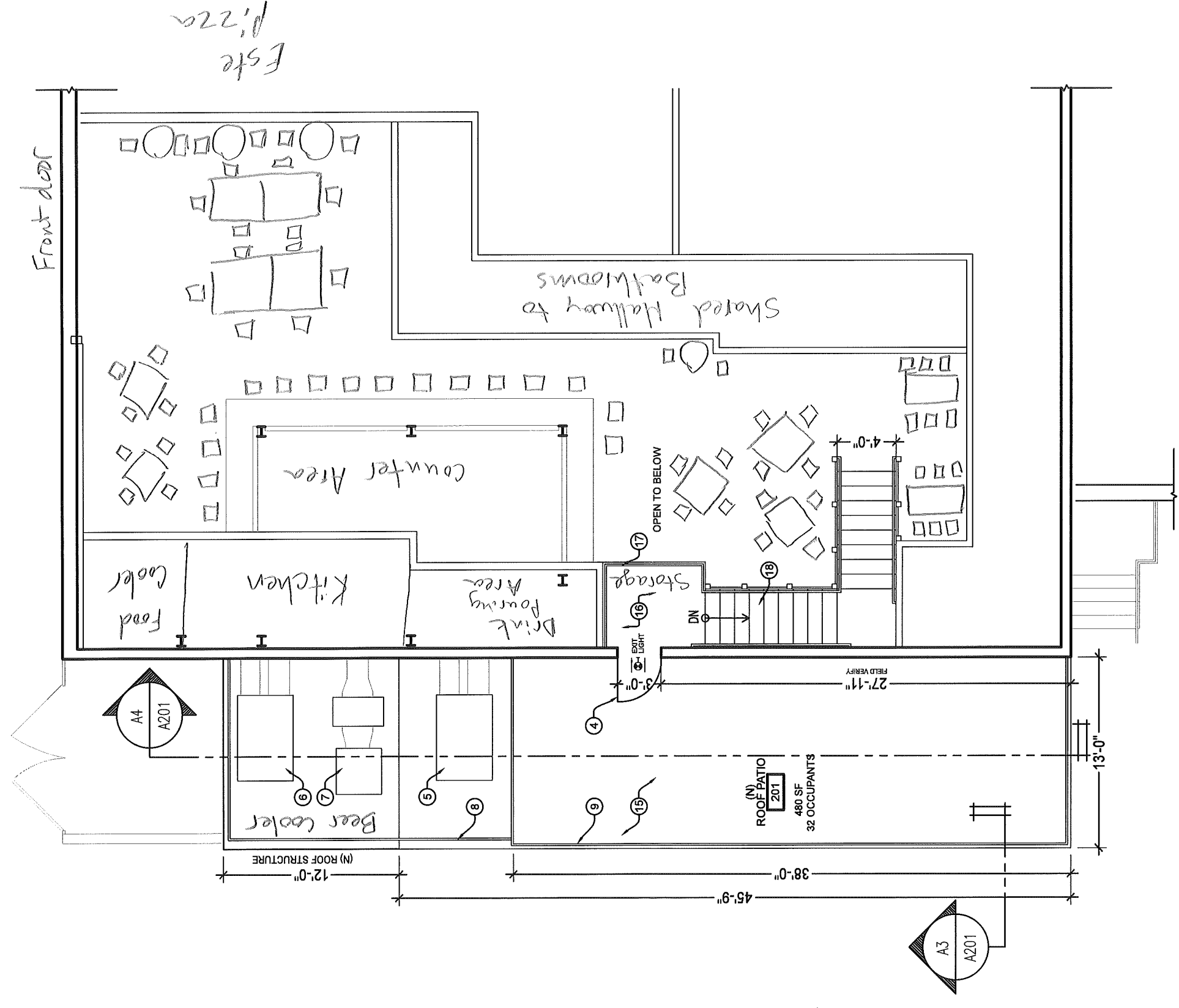
DATE:

06/17/14

COVER SHEET, PROJECT DATA, FLOOR PLAN
SCALE: AS NOTED

SHEET:
A1-01

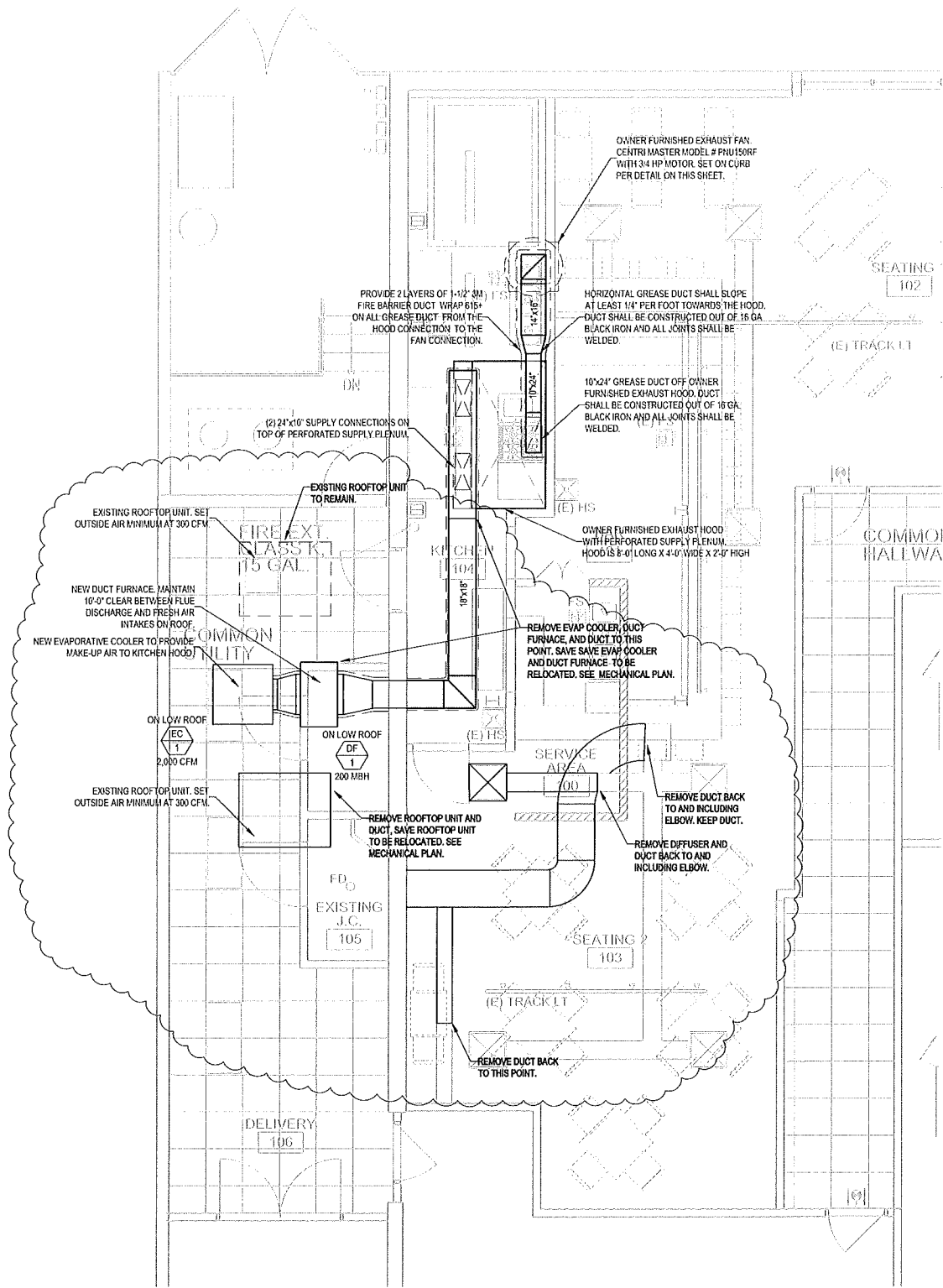
TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106



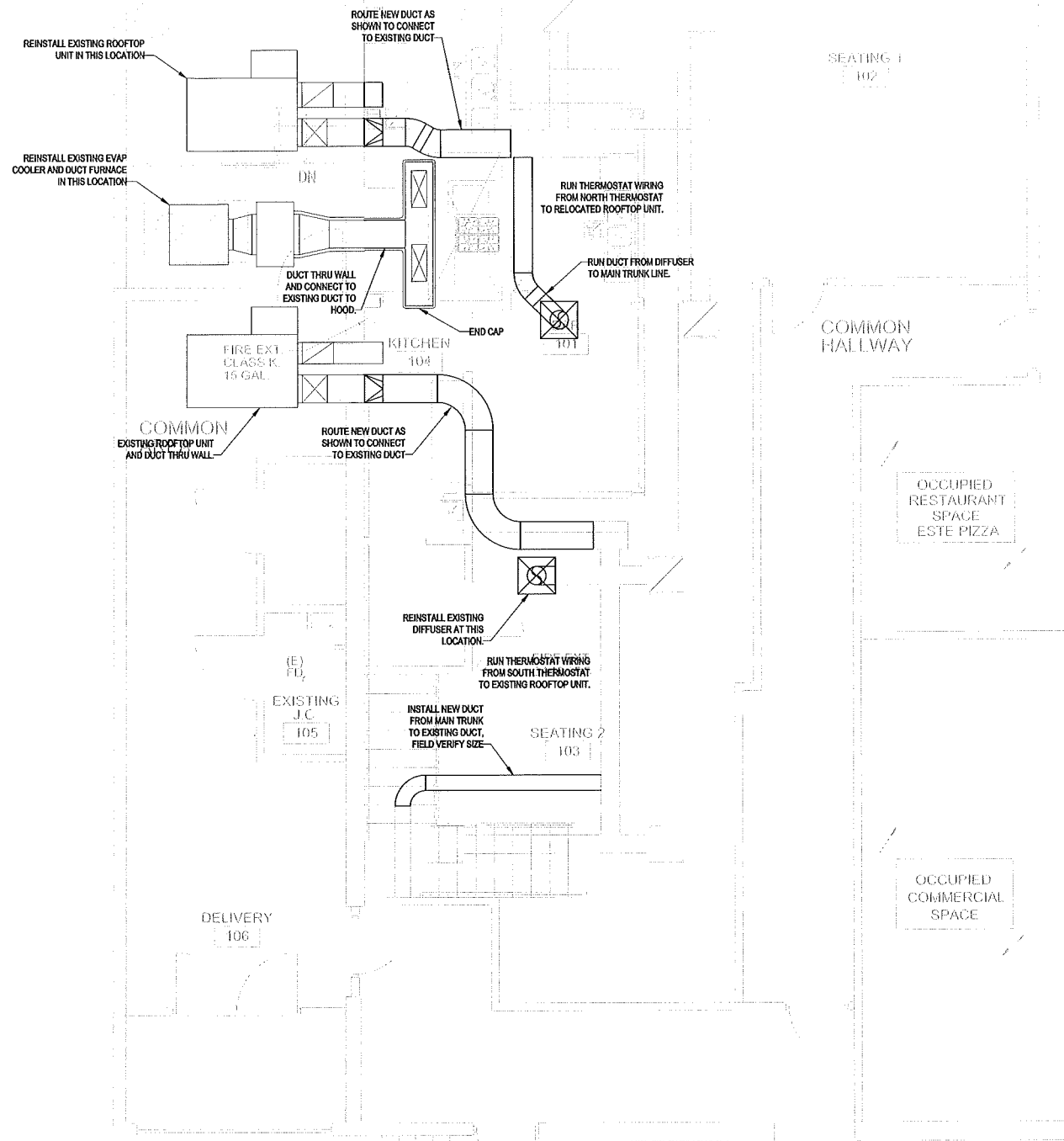
A2
A1-01

LOWER ROOF PLAN
SCALE: 1/8"=1'-0"

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MECHANICAL DEMO PLAN
SCALE: 1/4"=1'-0"



MECHANICAL PLAN
SCALE: 1/4"=1'-0"

KEYED NOTES

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9



PERMIT SET

REV.	DATE	DESCRIPTION
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-	-	-
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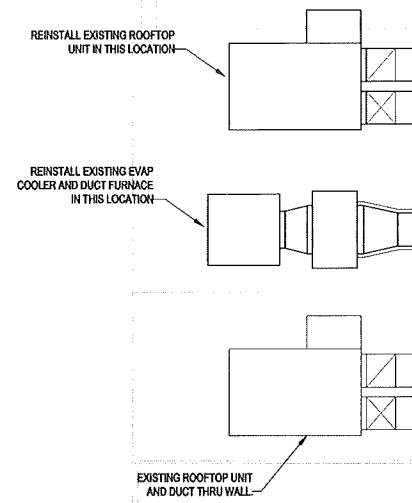


PROJECT NAME:
TROLLEY WING COMPANY
ADDRESS:
2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

DRAWING TITLE:
MECHANICAL PLAN

JOB NO:	TW02	SHEET NUMBER
DATE:	8/18/14	M201
DRAWN BY:	JTB	
SCALE:	1/4"=1'-0"	

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(N) ROOF PATIO

MECHANICAL ROOF PLAN
SCALE: 1/4"=1'-0"

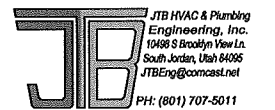
KEYED NOTES

- ①
- ②
- ③
- ④
- ⑤
- ⑥
- ⑦
- ⑧
- ⑨



PERMIT SET

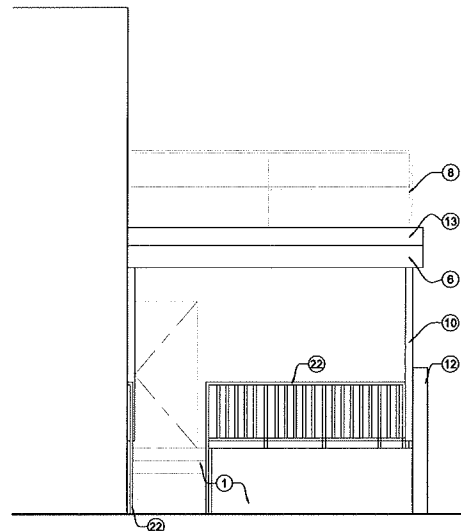
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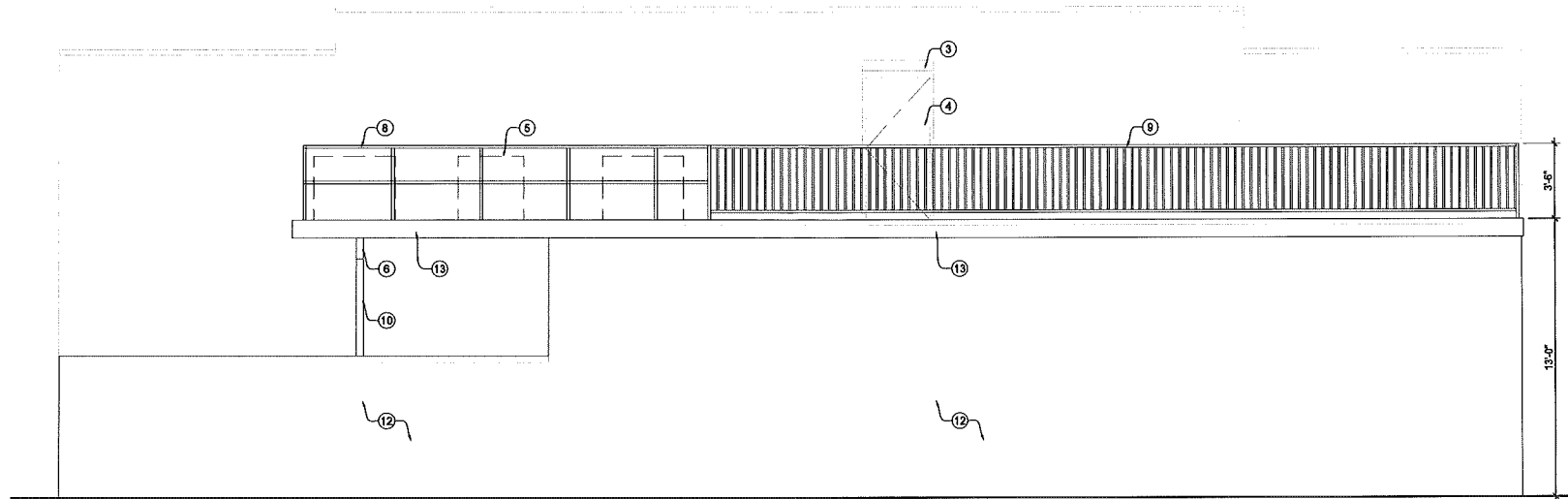
PROJECT NAME:
TROLLEY WING COMPANY
ADDRESS:
2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

DRAWING TITLE:
MECHANICAL ROOF PLAN

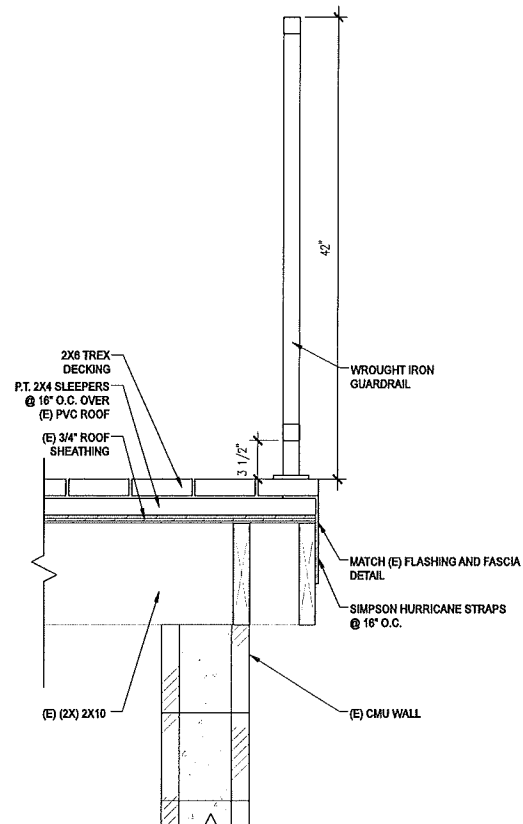
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DATE:	6/16/14	M202
DRAWN BY:	JTB	
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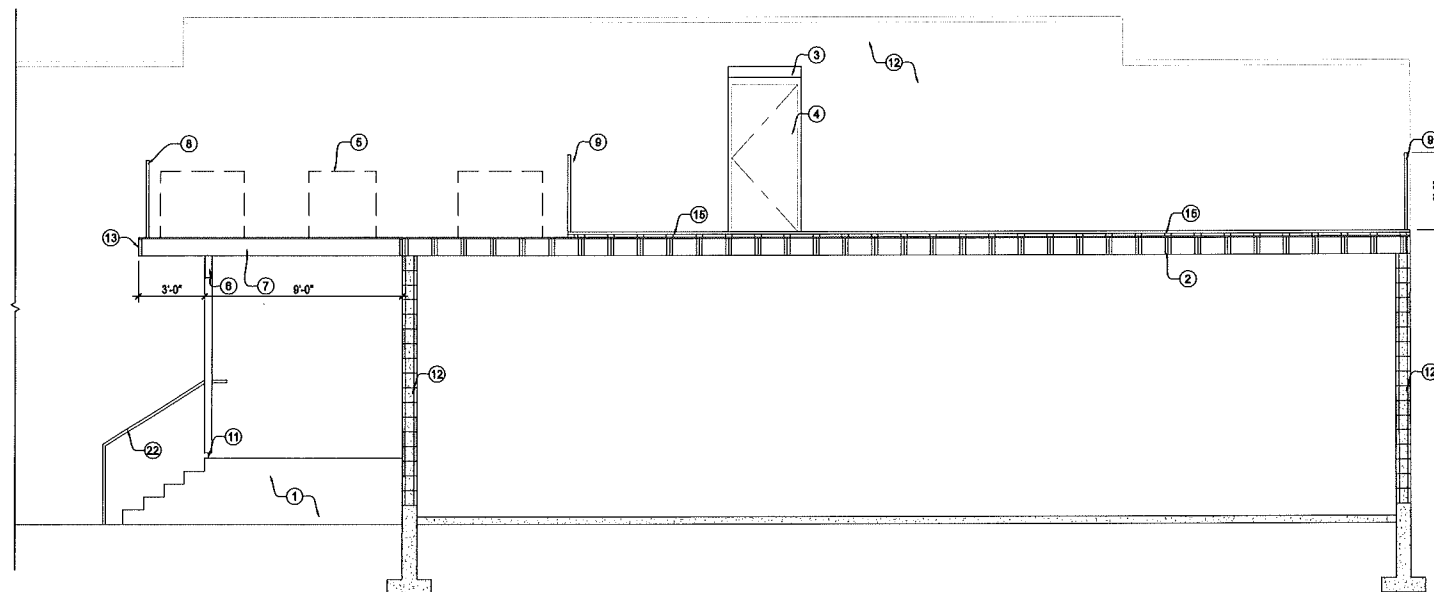
A1
A2-01
NORTH ELEVATION
SCALE: 1/4"=1'-0"



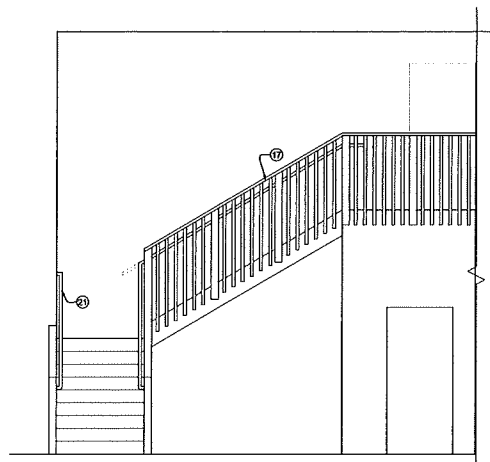
A2
A2-01
WEST ELEVATION
SCALE: 1/4"=1'-0"



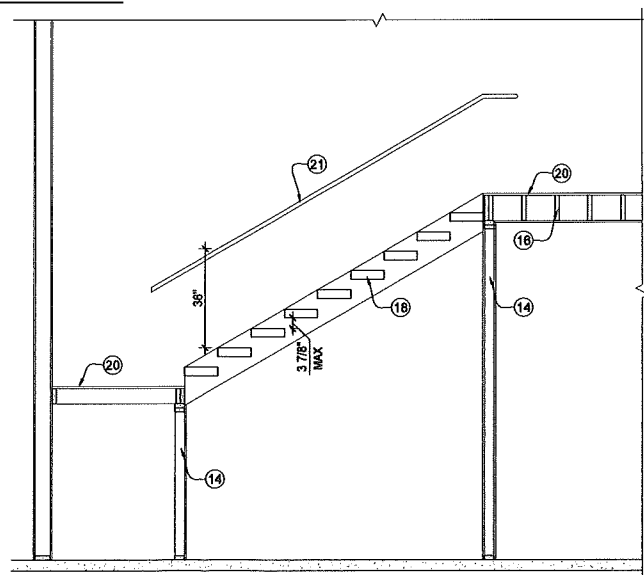
A3
A2-01
ROOF DECK DETAIL
SCALE: 1-1/2"=1'-0"



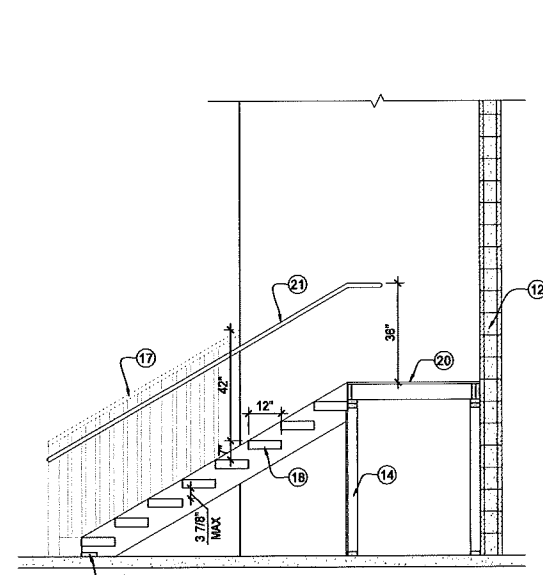
A4
A2-01
SECTION
SCALE: 1/4"=1'-0"



A5
A2-01
STAIR ELEVATION
SCALE: 1/4"=1'-0"



A6
A2-01
STAIR SECTION
SCALE: 3/8"=1'-0"



A7
A2-01
STAIR SECTION
SCALE: 3/8"=1'-0"

- REFERENCE NOTES
1. (E) CONCRETE STAIR AND LANDING.
 2. (E) ROOF JOISTS TO REMAIN.
 3. (N) STEEL ANGLE ABOVE (N) DOOR. SEE STRUCTURAL DRAWINGS.
 4. (N) H.M. DOOR AND FRAME (3'-0" X 7'-0").
 5. MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS.
 6. (N) 4"X12" BEAM, SEE STRUCTURAL DRAWINGS.
 7. (N) 2X10 JOISTS, SEE STRUCTURAL DRAWINGS.
 8. 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
 9. 42" HIGH WROUGHT IRON GUARD RAIL.
 10. (N) 4X4 POST.
 11. (N) ELEVATED POST BASE.
 12. (E) CMU WALL.
 13. MATCH (E) FLASHING AND FASCIA DETAIL.
 14. (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
 15. (N) TREX DECKING ON 2X4 SLEEPERS OVER EXISTING ROOF.
 16. (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
 17. (N) 42" HIGH GUARDRAIL.
 18. 3-1/8" X 12 GLULAM ATTACHED TO STAIR STRINGER W/ SIMPSON LSS90.
 19. (4X) 4" ANCHORS TO CONCRETE.
 20. 3/4" OSB FLOOR SHEATHING.
 21. (N) STEEL HANDRAIL @ 36" HIGH, SEE DETAILS ON SHEET A1-01.
 22. (E) STEEL HANDRAIL AND GUARDRAIL.

TROLLEY WING COMPANY - ROOF PATIO ADDITION
 2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106

STAMP	REVISIONS:
DATE: 04/17/14	SHEET: A2-01
ELEVATIONS AND SECTIONS SCALE: AS NOTED	

ATTACHMENT C: PHOTOS



The front (Commonwealth) façade of the existing Trolley Wings Restaurant



The land use directly across the street (Commonwealth) to the north



900 East façade of the shopping center



Parking immediately west of the site



900 East south



900 East north



Neighborhood to the west

ATTACHMENT D: EXISTING CONDITIONS

The parcel at 2148 South 900 East (16-20-131-030) is approximately 25,264.8 square feet (.58 acres) in area. There is a one-story shopping center on the parcel, of which the site is part of.

The subject property is bounded by to the east by 900 East, to the north by Commonwealth Avenue, to the south by another CB parcel and to the west by Elm Ave. All adjacent properties are located in the CB zone, except those to the west, which are zoned R-1/5000.

A vicinity map is provided in Attachment "A".

Current Zoning Requirements – CB (Commercial Business) Zoning District

The following chart illustrates the zoning requirements in the CB zone, current conditions on the subject parcel, and whether or not that is in compliance with the standard. The site is within an existing non-complying shopping center.

Zoning Standard	Required	Existing	Complying
Minimum Lot Area	None	25,264.8 square feet	Complies
Minimum Lot Width	None	Estimated 130 feet	Complies
Front Yard Setback	No setback required	Estimated 25 feet	Complies
Maximum Setback	15 feet	Estimated 25 feet	Non-Complying
Parking setback	20 foot setback required	Parking in front yard	Non-Complying
Interior Side Yard	No setback required	Zero on the south.	Complies
Rear Yard	10 feet	Varies from approximately 0, 15 and 30 depending on location	Non-Complying
Parking Spaces	Estimated 20	Estimated 28	Complies
Building Height	30 feet maximum	One story structure	Complies
Building Size limit	15,000 Sq. Ft	Estimated 9,350	Complies

Adjacent Land Uses

Land uses for the parcels adjacent to 2148 South 900 East, include the following:

West: Parking lot and single family homes

North: Manufacturing (Dreyers ice cream)

East: Grocery store (Smiths)

South: Office

Applicable Master Plan Policies

The subject property is located within the Sugar House section of Salt Lake City which falls under the Sugar House Master Plan (Adopted November 2001, Updated December 2005). That plan focuses on neighborhood stabilization and the redevelopment of the commercial core *(2100 South/Highland). The land use map identifies this site as potential mixed-use/low intensity.

The City also adopted a Circulation and Streetscape Amenities for Sugar House Business District in February 2014. That plan focuses potential transportation issue in the Sugar House core; 2100 South/1100 East. There is a street car stop at approximately 2200 South 900 East, within walking distance of this location

The proposed Conditional Use at 2148 South 900 East is in concert with the applicable sections of the Sugar House Master Plan specified above. It furthers the plan by reusing an existing building and supporting an existing restaurant.

ATTACHMENT E: ANALYSIS OF STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

Standard	Finding	Rationale
1. The use complies with applicable provisions of this title	Complies	Section 21A.33.030 “Table of Permitted and Conditional Uses for Commercial Districts” lists Social Club as a conditional use in the CB zoning district. The total square footage, including patio space, shall not exceed 2,200 square feet in total. Total square footage will include a maximum 1,750 square feet of floor space within a business and a maximum of 450 square feet in an outdoor patio area
2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses	Complies	Most surrounding properties are commercial and industrial in nature. The proposed use will fit comfortably within the uses currently in the area.
3. The use is consistent with applicable adopted city planning policies, documents, and master plans	Complies	The future land use map in the <i>Sugar House Master Plan</i> (2001 and 2005) designates the property as Mixed Use – Low Intensity. The present restaurant has existed at this site for several years without issue and adding a Social Club license would be appropriate to a mixed-use neighborhood.
4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions	Complies	Following the analysis of detrimental effects (below), no additional conditions are necessary to mitigate this proposed use.

21A.36.300 Alcohol Related Establishments Requirements

The purpose of this section is to permit the establishment of taverns, social clubs, dining clubs, brewpubs, and microbreweries as defined in chapter 21A.62 of this title, subject to licensing procedures, and where appropriate, conditional use standards. There are several items within this code section that are discussed below:

Section 21A.36.300.B – License Required: No tavern, social club, dining club, brewpub, or microbrewery shall be established, operated, or maintained within the City without a valid license issued by the Utah state division of licensing, and without a valid business license issued by the City.

Analysis: The applicant needs to go through the process with the Utah Department of Alcoholic Beverage Control for the appropriate license. Should the conditional use be approved, the applicant will also need to obtain a business license from the City.

Finding: If the application is approved, the proposed use will need to meet this portion of the standard. It cannot be met unless the conditional use approval is granted.

Section 21A.36.300.D. – Taverns, Social Clubs, Dining Clubs, Brewpubs, and Microbreweries; Authorized As Conditional Uses: Taverns, social clubs, dining clubs, brewpubs, and microbreweries may be allowed as

conditional uses pursuant to the provisions of Chapter 21A.54 of this title, and pursuant to Subsection B of this section in zoning districts noted in the tables of permitted and conditional uses provided the following standards are achieved:

21A.36.300.D.1.a. – Require that a security and operations plan be prepared by the applicant and approved by the Salt Lake City Police Department and the Building Official, and filed with the City Recorder’s office, which shall include:

- (1) A complaint-response community relations program;
- (2) A provision for a representative of the tavern, social club, dining club, brewpub, or microbrewery to meet with neighbors upon request in order to attempt to resolve any neighborhood complaints regarding the operations on the business premises;
- (3) Design and construction requirements to ensure that any sound level originating within the premises, measured within fifteen feet (15’) from an exterior wall or door thereof, does not exceed the maximum permissible sound level set forth for the applicable zoning district in Chapter 9.28 of this code;
- (4) A provision stating that live entertainment shall only be located within an enclosed building subject to the foregoing sound limit;
- (5) Prohibiting electronically amplified sound in any exterior portion of the premises;
- (6) Designation of a location for smoking tobacco outdoors in conformance with state law;
- (7) A provision stating that any trash strewn on the premises be collected and deposited in a trash receptacle by six o’clock (6:00) A.M. the following day, including any smoking and parking lot areas;
- (8) A provision stating that portable trash receptacles on the premises be emptied daily and automated receptacles be emptied at least weekly. Automated receptacles shall be located only within a city approved trash storage area; and
- (9) A parking management plan, which shall include consideration of the impact of parking on surrounding neighborhoods.

Analysis: The applicant has submitted a security and operations plan to the Police Department and the Building Services Division that addresses all of the requirements of items 1-9 listed above. Approval of the document, along with the requirement that it be recorded with the City Recorder’s office, has been included as a condition of approval.

Finding: A security and operations plan has been submitted. Approval of the security and operations plan by both the Building Services Division and the Police Department and it being recorded with the City Recorder prior to issuing any permits for the use, are a condition of approval.

21A.36.300.D.1.b. – Require a review and approval of the site and floor plan proposed for the premises by the Salt Lake City Police Department. Such review may require design features for the purpose of reducing alcohol related problems such as consumption by minors, driving under the influence, and public drunkenness;

Analysis: The applicant has provided a site and floor plan that has been submitted for approval by the Police Department.

Finding: Materials have been submitted to the Police Department for review, without comment. Approval is conditioned upon satisfaction of this element.

21A.36.300.D.1.c. – Require buffering where a tavern, social club, dining club, brewpub, or microbrewery abuts a residentially zoned parcel. Said buffering shall include vegetative landscaping or walls along any property line or within any required yard area on the lot where the premises are located;

Analysis: The subject property does not immediately abut a residentially used parcel. The site is within an existing shopping center space and presently operates as a restaurant. The property to the west (across the street) is residentially zoned, but used as a parking lot.

Finding: This portion of the standard does not apply to the proposal.

21A.36.300.D.1.d. – Require that landscaping be located, and be of a type, that cannot be used as a hiding place;

Analysis: Additional landscaping is not required as part of this application.

Finding: This portion of the standard does not apply to the proposal.

21A.36.300.D.1.e. – Require that the exterior of the premises be maintained free of graffiti, including the main building, any accessory buildings or structures, and all signs. Graffiti shall be removed from the exterior of the premises within forty-eight hours, weather permitting.

Analysis: There is no readily apparent graffiti currently on site. The existing restaurant site has not had a longstanding unresolved issue with graffiti.

Finding: This portion of the standard is met.

21A.36.300.D.2.a - Limit the size and kind of signage located on the outside of any building in conformance with Chapter 21A.46 of this title;

Analysis: The signage presently exists.

Finding: This portion of the standard is met.

21A.36.300.D.2.b. – Require parking area lighting to produce a minimum footcandle that provides safe lighting for pedestrians, but does not intrude on residents’ enjoyment of their homes;

Analysis: This site has an existing parking lot that is well lit and is integrated into the larger neighborhood.

Finding: This portion of the standard is met.

21A.36.300.D.2.c. – Consider the proposed location of an outdoor smoking area in the security and operations plan and the potential effect on neighboring residences, businesses, and buildings and designating a new area if the potential effects of the area in the security and operations plan appear to adversely affect neighboring residences, businesses, and buildings.

Analysis: The designated smoking area to be located outside the bar, to the west of the main door.

Finding: The smoking area is beyond 25 feet from an entrance or exit and complies with state regulations.

21A.36.300.F. Concentration Prohibited: In the CN and RB zoning districts, not more than one alcohol related establishment as noted in the table of permitted and conditional uses shall be located within six hundred feet (600') of another alcohol related establishment as measured linearly without regard to intervening structures from the nearest point on the property line of one establishment to the nearest point on the property line of the second establishment. In CB zoning districts, not more than one social club, dining club, brewpub, or tavern shall be located within three hundred fifty feet (350') of another alcohol related establishment as measured linearly without regard to intervening structures from the nearest point of the property line of one establishment to the nearest point on the property line of the second establishment.

Analysis: Salt Lake City Business Licensing do not have record of another Social Club License within 350 feet.

Finding: The proposed Social Club license meets this standard.

21a.54.080B: Detrimental Effects Determination: In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	Social Club is a conditional use in the CB zone
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The future land use map in the <i>Sugar House Master Plan</i> (2001/2005) designates the property as Mixed Use – Low Intensity. The proposed use is consistent with the master plan policies.
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	Complies	The proposed Social Club license is in conjunction with an existing operating restaurant, which is compatible in intensity, size, and scale to existing commercial uses in the area. Both the proposed use and the building fit in well with the overall character of the neighborhood.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	Complies	The existing structure on the site relates well to surrounding structures. There are no proposed alterations to the footprint of the building nor to its essential character.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows	Complies	There are no newly proposed vehicular access points to this site nor are there any grading changes proposed.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	Complies	The existing internal circulation is functioning well..
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	The site is located adjacent to a major city street, providing direct access for both pedestrians and bicyclists.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	The City’s Transportation Division has reviewed the request and did not indicate that there would be any unreasonable impacts to the service level of any adjacent streets.
9. The location and design of off-street parking complies with applicable standards of this code	Complies	No new parking spaces are required for the site.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The site can be served by all necessary utilities.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The use does not require any additional screening or buffering because it does not abut dissimilar uses.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or	Complies	The proposed use presents no foreseen impacts to air quality and it is not anticipated that there would be any hazard or environmental damage to adjacent property. It is not anticipated that

introduce any hazard or environmental damage to any adjacent property, including cigarette smoke		smoking will create any issues as long as state standards are followed.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	The anticipated hours of operation will be between 11:00 AM – 1:00 AM, seven days per week. The restaurant is already operating at this site without major issue, therefore it is presumed that the addition of a Social Club license at the existing business will not significantly affect the surrounding area.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	There are no new signs proposed at this time, but any new sign must comply with the regulation in Chapter 21A.46 of the Zoning Ordinance.
15. The proposed use does not undermine preservation of historic resources and structures	Complies	There are no historic sites or features on the property.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Notice of the public hearing for the proposal included:

The site is within the Sugar House Community Council.

The Community Council land use committee met March 21(18), 2016 and the full Community Council met April 6, 2016 and voted to support the liquor license.

Comments are attached

Public hearing notice mailed: April 28, 2016.

Public hearing notice posted: May 2, 2016.

Public notice posted on City and State websites and Planning Division list serve: April 28, 2016

April 9, 2016

TO: Salt Lake City Planning Commission

FROM: Judi Short, Vice Chair, and Land Use
Chair

Sugar Houe Community Council



RE: Petition PCNPCM2016-00083 Request for Full Liquor Club License
Trolley Wings 2148 South 900 East #5

The Sugar House Community Council (SHCC) has reviewed this proposal, first at our Land Use and Zoning Committee meeting on March 18, and again at the full SHCC meeting April 6. Comment Cards received from both meetings are attached. We posted the proposal on our website, and we received some comments, which are attached. We also distributed flyers to the neighboring homes and businesses, which generated comments and brought people to one or both of our meetings.

Trolley Wings moved from a very small tavern in a Trolley Car at Trolley Square, to its current location two years ago. At that time, they took over the restaurant liquor license from the restaurant that was at this site. The clientele was used to a place where they could hang out and have a drink, but now they had to have dinner. They have explained how hard they have worked to expand their menu, and added new ovens to double the cooking capacity, and they cannot meet the demand of food orders to fulfill the obligation of the restaurant liquor license. And the competition from another restaurant with a similar menu is eroding their customer base. They are already operating at maximum capacity. They are seeking to change to a Club Liquor License.

We had two good conversations with the applicant at each of our meetings, and they responded to questions from the audience. They seem to be very conscious of the issues around the neighborhood, from parking issues in the business district, to crime in the form of stolen cars and car burglaries. They realize that parking is an issue all over the Sugar House Business District, and hope that many of their customers will come from within walking distance. They are very clear that the deck on the rear of their building provides eyes on the street, and is a positive deterrent to crime in the parking lots. They are careful that patrons do not drink too much, and if they do, see that they take a cab home. They were able to answer the questions of the neighbors regarding parking and noise.

They have a very loyal clientele who have been coming to them for years. They are anxious to maintain that relationships. We have had many comments from trustees, neighbors, and others, who are very clear that this business is an asset to our neighborhood, as well as a local business. In Sugar House, we have always been a friend to the local businesses, and do whatever we can to help them succeed. We think that this change will be a positive change for Trolley Wings, and allow them to succeed in Sugar House. We ask that you approve them for this change in licensure.

Community Meeting

Hosted by: Sugar House Community Council

DATE-TIME: March 21, 2016, 6:00 pm

LOCATION: Sprague Library (2131 Highland)

WHY: Trolley Wings Co. is attempting to get a full liquor license and has to apply for a conditional use permit. This will likely increase activity in the area.



www.sugarhousecouncil.org

sugarhousecouncil@yahoo.com

YOUR FEEDBACK IS DESIRED

This area is going to be seeing a lot more development and we may not be able to flyer for every one. Please attend the meeting and signup for the newsletters by clicking “join” on our homepage www.sugarhousecouncil.org.

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sugarhousecouncil@yahoo.com

YOUR FEEDBACK IS DESIRED

This area is going to be seeing a lot more development and we may not be able to flyer for every one. Please attend the meeting and signup for the newsletters by clicking “join” on our homepage www.sugarhousecouncil.org.

Comments Received via Email Trolley Wings Liquor License March April 2016

Created by Judi Short

Email: steph.m.stamm@gmail.com

Website:

Comment: I fully support Trolley Wing Company in their request for a club liquor license. Sugar House has a long history of supporting local businesses like TWC. The recent developments in the area have attracted many new businesses - some local, and many others large chains like Buffalo Wild Wings. Please help keep local businesses like TWC competitive in a fierce market by granting their request for a club liquor license.

Time: February 25, 2016 at 9:02 pm

Email: jsjohnsteffen@gmail.com

Website:

Comment: This seems to be a reasonable request. I'm in favor of them getting the liquor license. This fits in with the Sugar House ambiance.

Time: February 24, 2016 at 3:46 pm

Name: Jason wolf

Email: jwolfski@gmail.com

Website:

Comment: I fully support TWC getting a full liquor license.

Time: February 24, 2016 at 6:56 pm

IP Address: 168.177.233.68

Feb 24 (6 days ago)

Name: Randolph C. Speers

Email: mountainofmole@gmail.com

Website: <http://NA>

Comment: I live in Sugar House near to Trolley Wing Company. I have no problem with Them having a full liquor license. So long as they do not let a bunch of drunks Loose on the neighborhood, and there should be no problem with that if they run There establishment correctly..

Randy Speers

Name: Angela Waagen

Email: amwaagen@gmail.com

Comment: Please let Trolley Wings have their liquor license. Accept that Salt Lake City is growing up and it is time for the citizens to be allowed to act as responsible adults.

Time: February 24, 2016 at 11:18 pm
IP Address: 98.202.90.241

9Tina Escobar-Taft, Bill Kotowski and 7 others
Comments



Misty Vrieze I hope this works out for them. As a resident I feel they fit in great and I support "local" business in sugarhouse.

Name: Allen Poe

Email: orionfin@comcast.net

Website:

Comment: I own the home directly behind TWC at 866 E Elm. Although I am not opposed to them receiving a full liquor license I am concerned about the amount of traffic in our neighborhood. Parking is and continues to be a problem most of the residents have 2 cars and a one car driveway. I suggest that Sugarhouse give each home owner a marked spot in front of their home for parking, this will still allow for others to park on the street in non-marked areas. There are total of 4 businesses in the building and parking is always an issue... Please consider the owners of the neighborhood in this matter.

Email: ahopkins1124@yahoo.com

Website:

Comment: I believe this would be a wonderful compliment to our growing restaurant choices.

Time: March 29, 2016 at 9:28 pm

April 11, 12:00 p.m.

Trolley Wings – A couple days after the LUZ meeting I went and knocked on 6-7 of the houses right behind them but had no luck reaching anyone (it was midday). I wanted to let them know about this and get their feedback. I have concerns with noise and parking although I hear what Amy said about her advice to the neighbor (i.e.: asking the city for restrictions). That place has been pretty busy on the weekends for a while now and if none of the neighbors have raised hell about it by now than maybe there's not much of an issue. In both of the presentations that the owners made I didn't really hear a compelling argument to support them; their two main desires are to 1) compete with Buffalo Wild Wings and 2) get an upgraded DABC license. With that, I am opposed to their request, mostly out of respect for the neighbors in the area.

Dear Lisa,

I am against granting Trolley Wings a conditional use for serving alcohol. I believe serving alcohol will aggravate existing problems in the area. There has been an increase in home and auto breakins since the businesses opened on the corner of commonwealth and 900 East. The parking situation is horrible, what happened to the "no parking" signs on commonwealth and elm ave. That is a 2 way street and only 1 car will fit because of parking on both sides of the street. The people also park along Elm Ave and homeowners can't park near their home.

Thank you,

Dale Bondaruk

Dale Bondaruk

Comment Card

Name: Joe Chavis

Issue: Trolley Wing Company

Email: joejchavis@hotmail.com

- Sign up for email newsletter to be informed of future meeting dates.

I feel they should ~~have~~ have the Tavern
license. If they don't get it, Buffalo Wild
Wings will put them out of business. Sugarhouse
needs a sports bar. The owners represent
Sugarhouse very well.

Comment Card

Name: Joann Chavis

Issue: Trolley Wing Company

Email: Joann.york@hotmail.com

Sign up for email newsletter to be informed of future meeting dates.

I feel it is refreshing to see a business come in and
help the community by working with us. I feel they
should be granted a taven license. It will help
Sugarhouse Create a social life ^{while} ~~and~~ still being responsible.

Adults need a break sometimes at a place that is
all about being social and not loud like clubs.

Comment Card

Name: Nancy Gibson

Issue: B Wild Wings - BMR

Email: ngibby50@gmail.com

Sign up for email newsletter to be informed of future meeting dates.

I SEE NO REASON why they should
NOT BE APPROVED FOR THE OC -

Comment

Name: BRAD D. TORRIS

Issue: Trolley Wing Full & Night Club License
Bar **Card**

Email: bd.torris@mail.com

- Sign up for email newsletter to be informed of future meeting dates.

Know Jeff/Jess & knows that he is
responsible and a great local businessman.
We need a full service bar/restaurant
in the area. Deek sounds great!

Comment Card

Name: Milton Braselton

Issue: Trolley Wings Co. - wanting club license

Email: _____

- Sign up for email newsletter to be informed of future meeting dates.

APPROVE - whole heartedly - they have been a good neighbor since they moved in; they want to continue to be a good neighbor, just fit in and do business - they are locally owned small business which is exactly what ~~we~~ ^{our community} wants. I have to admit that I have not patronized them yet BECAUSE I did not know they are a sports bar! I am always on the lookout for a restaurant/bar like this: a quiet bar where you can HEAR the broadcast audio on the TV screen you are watching. I am a Real Salt Lake Season Ticket Holder and have attended home games since the 1st year at Rice Eccles Stadium at the U. As I said, I am always looking for a good place to watch Major League Soccer, World Cup, Olympic, and other soccer games.

ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Engineering (Scott Weiler): No objections.

Fire (Ted Itchon): No comment.

ATTACHMENT H: APPLICANT SUBMITTAL



Conditional Use

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #: <i>PLNPCM2010-00083</i>	Received By: <i>LoPansi</i>	Date Received: <i>2/3/2010</i>	Zoning: <i>CB</i>
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Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: *Trolley Wing Company needs a club liquor license.*

Address of Subject Property:
2148 S. 900 E. Suite #5 SLC, UT 84106

Name of Applicant: *Jess Wilkerson / President TWC* Phone: *801-599-6065*

Address of Applicant:
2833 Washwright Rd. SLC, UT 84109

E-mail of Applicant: *jessejames.wilkerson@gmail.com* Cell/Fax: *801-599-6065*

Applicant's Interest in Subject Property:
 Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):
Bill Grodnik

E-mail of Property Owner: *B.Grodnik@davincivirtual.com* Phone: *801-232-7413*

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

<i>Mailing Address:</i> Planning Counter PO Box 145471 Salt Lake City, UT 84114	<i>In Person:</i> Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
---	---

REQUIRED FEE

- ➔ Filing fee of \$728.
- ➔ Plus additional cost of postage for mailing notice.

SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: *[Signature]* Date: *1-15-10*



18 January 2016

To Whom it May Concern:

Trolley Wing Company, located in the popular and trendy Sugarhouse district, needs to obtain a club license in order to stay afloat. Since moving into our new location at the beginning of 2014, our business has both grown and suffered because of restrictions put on our licensing.

For twelve years before moving to Sugarhouse, TWC thrived as a tavern at Trolley Square in downtown Salt Lake City. We successfully maintained a very loyal customer base with countless "regulars" and familiar faces. Our famous wings have always been the buzz talk to bring in new customers, but until our move to Sugarhouse, our clientele was not required to purchase food in order to patronize our establishment. But due to situations beyond control, we were forced to operate under a restaurant license upon moving. Although that enabled us to expand our alcoholic beverage options to include liquor and cocktails, we had to compromise our "local watering hole" feel as a new restaurant.

Despite this new requirement for our customers, many of our regulars maintain their loyalty and continue to visit TWC for wings and a drink. However, we felt a loss in attendance from many familiar faces, because they had always known TWC to be a place to hang out and just have a drink. Suddenly it was a place they had to go have dinner. Although our daily business hours are 11:00 am – 1:00 am, we have lost opportunities with the late night crowds. While operating as a tavern, we were able to draw customers in for a drink after a movie or a Jazz game. This is no longer available to us operating as a restaurant.

Although it would be false to say our clientele hasn't expanded and diversified since moving, it would be accurate to say that customer satisfaction has suffered. For two years since moving in, we have done everything possible to maximize the efficiency of our kitchen and make the most of the small space we have to work. We bought new ovens and doubled our cooking capacity, expanded our menu, increased our staff – but we simply cannot meet the demand of food orders. Even full staff with 8 employees on hand, at our maximum 91 seat capacity, wait times on food orders have taken as long as an hour. This results in irritated customers, and also makes it difficult to keep the 70/30 policy.

A fierce competitor has also recently moved in two blocks away. Buffalo Wild Wings is a similarly styled restaurant with a sports-bar like feel. We have tried to create our own version of that atmosphere, but with already operating at maximum capacity, we are unable to compete. We need something to set us apart from the restaurant that may otherwise leave us in their shadow.

We have talked to neighboring business management such as Smith's Food and Drug, Este Pizzeria and the Nestle ice cream factory, and have received a very positive and supportive response all in all. Our relationships with neighboring businesses has always been a teamwork style, and will continue to be so as we responsibly operate as a private club.

The nightlife in Sugarhouse is so prominent and so important to the economy. Competition is fierce all around us as every bar is packed every night. I know as a successful business owner that TWC would thrive operating as such. Please consider this request as it would inevitably have a positive effect on our local economy.

Respectfully,

Jess Wilkerson, President
Trolley Wing Company



Trolley Wing Company Conditional Use Information

2a) If applicable, what is the anticipated operating/delivery hours associated with the proposed use?

- Monday – Sunday 11:00 am – 1:00 am

2b) What are the land uses adjacent to the property (abutting and across-the-street properties?)

- Smiths Food & Drug, Nestle Ice Cream Factory

2c) How many employees are expected to work on-site during the highest shift?

- 8 employees

2d) If applicable, how many seats will be provided as part of the conditional use?

- 91 seat capacity

2e) Have you discussed the project with nearby property owners? If so, what responses have you received?

- Discussed with surrounding business management and have received an optimistic and supportive response.

5b) Type of construction and list the primary exterior construction materials?

- Cinder block & windows

5c) Number, size, and type of dwelling units in each building, and the overall dwelling unit density?

- 4 tenants total in our building not including TWC
 - Este Pizzeria – approx 3128 sq ft
 - Family Night – approx 1900 sq ft
 - Blackhouse Vapor Company – approx 1875 sq ft
 - Phillip William Salon – approx 1875 sq ft

[16-20-129-023-0000]
DREYER'S GRAND ICE CREAM INC
1 CHECKERBOARD SQUARE
ST LOUIS, MO 63164-0001

[16-20-134-003-0000]
SMITH'S FOOD KING PROPERTIES INC
1014 VINE ST 7TH FLOOR
CINCINNATI, OH 45202-1141

[16-20-130-008-0000]
JLF INVESTMENTS LC
13219 S WOODRIDGE OAK CIR
DRAPER, UT 84020-7149

[16-20-130-005-0000]
LSW INVESTMETNS LLC
5076 S GLENDON ST
MURRAY, UT 84123-4538

[16-20-130-006-0000]
YEE, DORIS S M
PO BOX 963
OGDEN, UT 84402

[16-20-135-008-0000]
910 ELM LLC
3435 CEDAR DR
PARK CITY, UT 84098-5499

[16-20-135-009-0000]
2185 PROPERTIES LLC
3435 CEDAR DR
PARK CITY, UT 84098-5499

[16-20-135-001-0000]
B H ENTERTAINMENT INC
2200 S 700 E
SALT LAKE CITY, UT 84106-1884

[16-20-135-002-0000]
~~B H ENTERTAINMENT INC
2200 S 700 E
SALT LAKE CITY, UT 84106-1884~~

[16-20-135-003-0000]
BLOMQUIST, PHILIP R II
2200 S 700 E
SALT LAKE CITY, UT 84106-1884

[16-20-131-030-0000]
GRODBROS REAL ESTATE LIMITED PARTNERSHIP
LLLP
2148 S 900 E
SALT LAKE CITY, UT 84106-2325

[16-20-130-009-0000]
~~GRODBROS REAL ESTATE LIMITED PARTNERSHIP
LLLP
2148 S 900 E
SALT LAKE CITY, UT 84106-2325~~

[16-20-131-034-0000]
ALARM HOLDING COMPANY
2166 S 900 E
SALT LAKE CITY, UT 84106-2325

[16-20-131-033-0000]
TR4 ENTERPRISES LC
2718 S 900 E #4
SALT LAKE CITY, UT 84106-1367

[16-20-131-029-0000]
YOUNG, GINA P & MARK S; JT
3693 E ASTRO WY
SALT LAKE CITY, UT 84109-3843

[16-20-131-010-0000]
SHAMA, BIANCA
830 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-130-003-0000]
MORETON, JENNY W
833 E ELM AVE
SALT LAKE CITY, UT 84106-1807

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HARRELL, ROBERT V
836 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-130-004-0000]
KAPPUS, ALFRED J & DAVID M; JT
837 E ELM AVE
SALT LAKE CITY, UT 84106-1807

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RETFERD, CAREY J
840 E ELM AVE
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BREDIN, LINDA A
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PAIZ, CATHERINE J
850 E ELM AVE
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BEINTEMA, HEIDI M
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MCCAULEY, BARBARA L
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MORRIS, MARK R
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POE, ALLEN D
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MILLER, MAXI E
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[16-20-135-011-0000]
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SIMES, MAUREEN
932 E ELM AVE
SALT LAKE CITY, UT 84106-2303

[16-20-129-019-0000]
921 PROPERTIES LC
4070 S EVELYN DR
SALT LAKE CITY, UT 84124-2250

[16-20-130-002-0000]
BONDARUK, DALE F
1455 W WASATCH AVE
SALT LAKE CITY, UT 84104-2674

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FARLEY, TAMI
1828 S WASATCH DR
SALT LAKE CITY, UT 84108-3324

[16-20-131-024-0000]
HAGN, EMILY
835 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-131-025-0000]
BETTINSON, CHRISTOPHER R
841 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-131-026-0000]
BRIDGES, EDDIE L
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SALT LAKE CITY, UT 84106-1821

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CANNON, MICHAEL D
853 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-135-004-0000]
PETERSEN, LEROY
2960 E ROBIDOUX RD
SANDY, UT 84093-1130

[16-20-135-005-0000]
PETERSEN, LEROY; TR
2960 E ROBIDOUX RD
SANDY, UT 84093-1130

[16-20-131-028-0000]
JONES, STEVEN A
3064 S 300 E #1
SOUTH SALT LAKE, UT 84115-3978

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Salt Lake City, UT 84106-1832

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847 E ELM AVE
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Salt Lake City, UT 84106-2303

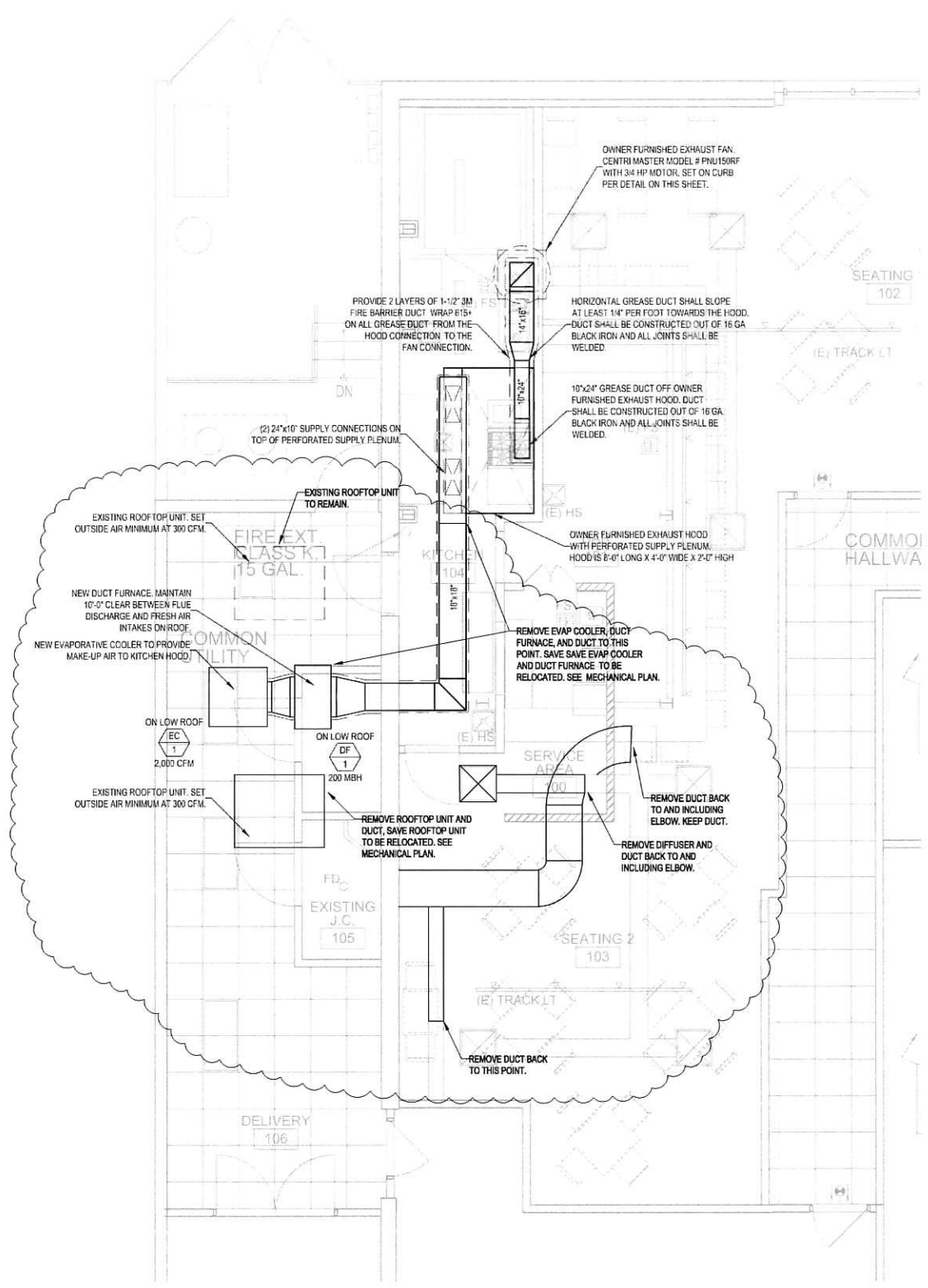
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Resident
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Salt Lake City, UT 84106-1832

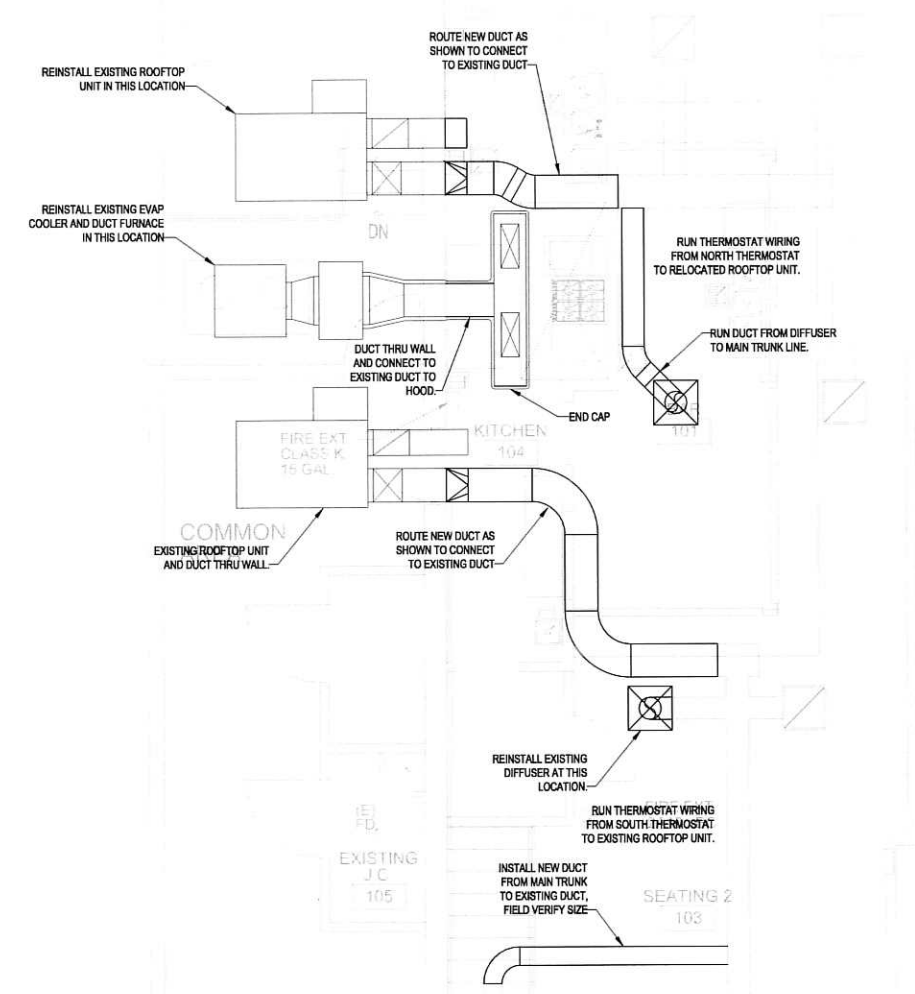
KEYED NOTES

- 1 . . .
- 2 . . .
- 3 . . .
- 4 . . .
- 5 . . .
- 6 . . .
- 7 . . .
- 8 . . .
- 9 . . .

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NORTH
MECHANICAL DEMO PLAN
SCALE: 1/4"=1'-0"



NORTH
MECHANICAL PLAN
SCALE: 1/4"=1'-0"



PERMIT SET

REV.	DATE	DESCRIPTION
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-	-	-
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A	6/16/14	RELEASED FOR PERMIT

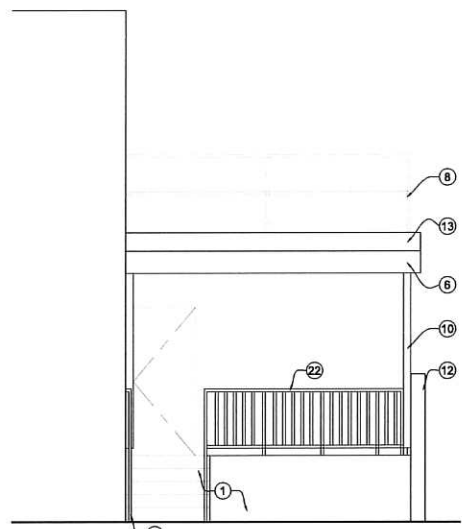


PROJECT NAME:
TROLLEY WING COMPANY

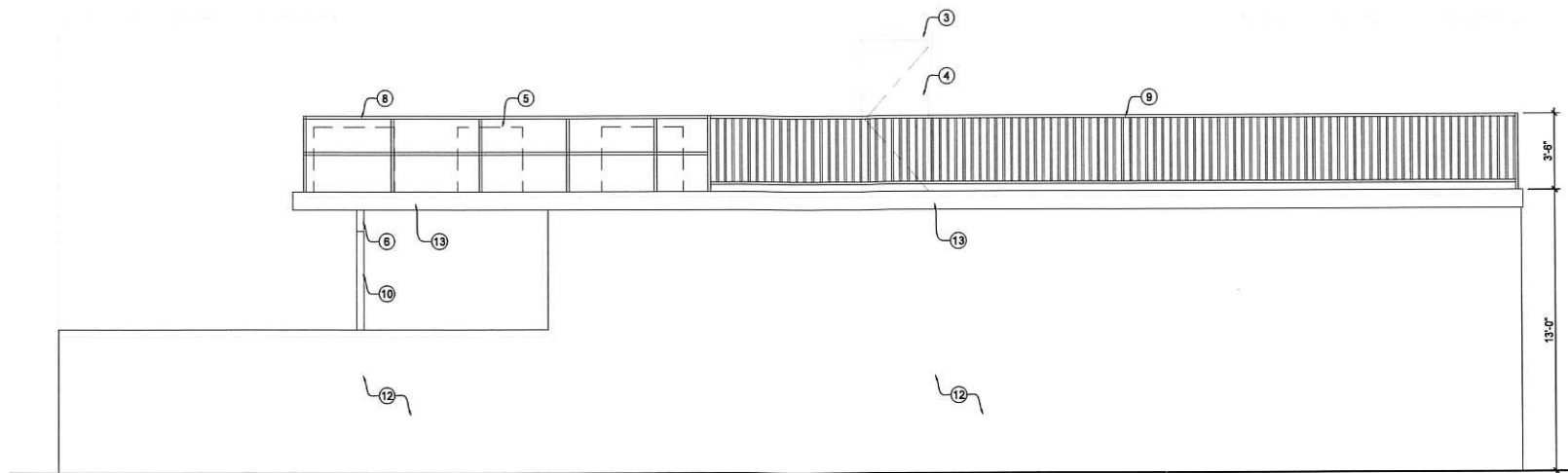
ADDRESS
2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

DRAWING TITLE:
MECHANICAL PLAN

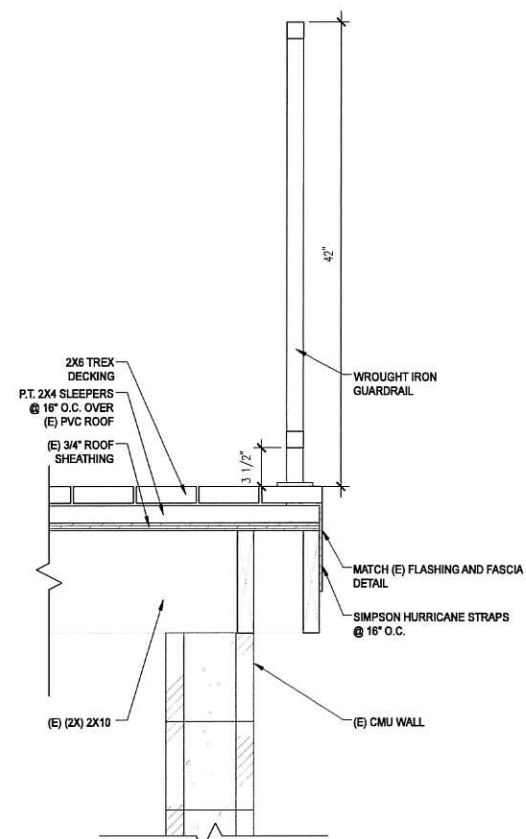
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DATE:	6/16/14	M201
DRAWN BY:	JTB	
SCALE:	1/4"=1'-0"	



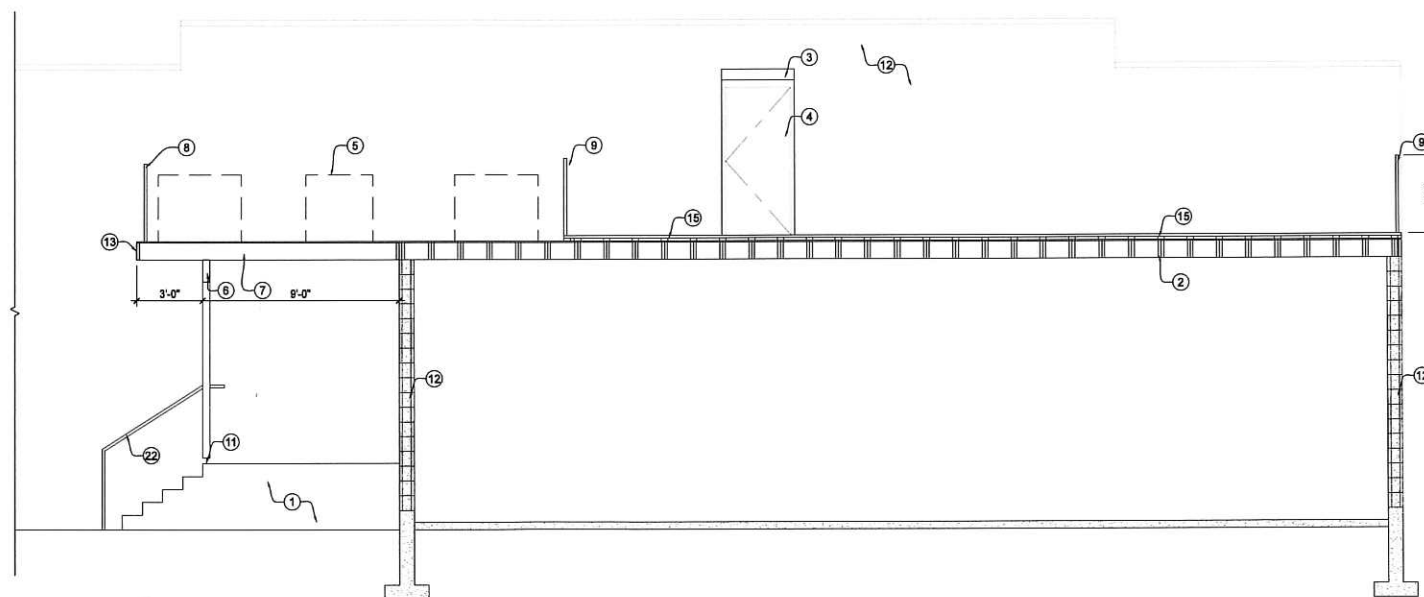
A1 NORTH ELEVATION
A2-01 SCALE: 1/4"=1'-0"



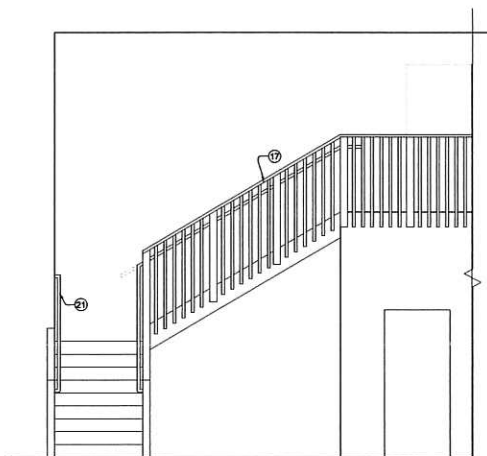
A2 WEST ELEVATION
A2-01 SCALE: 1/4"=1'-0"



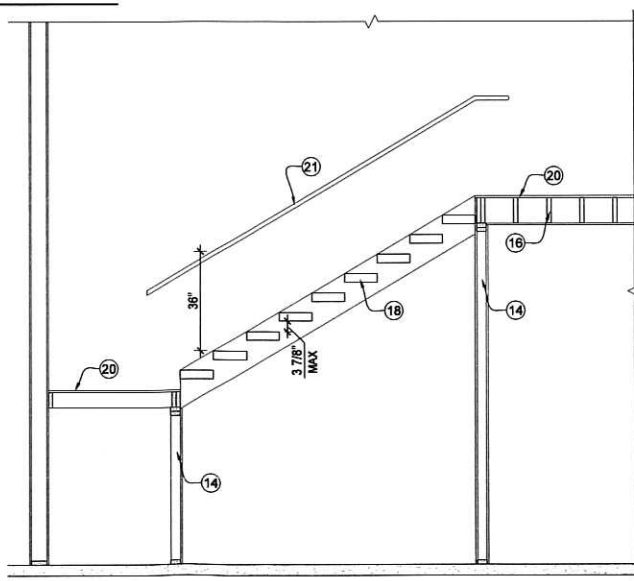
A3 ROOF DECK DETAIL
A2-01 SCALE: 1-1/2"=1'-0"



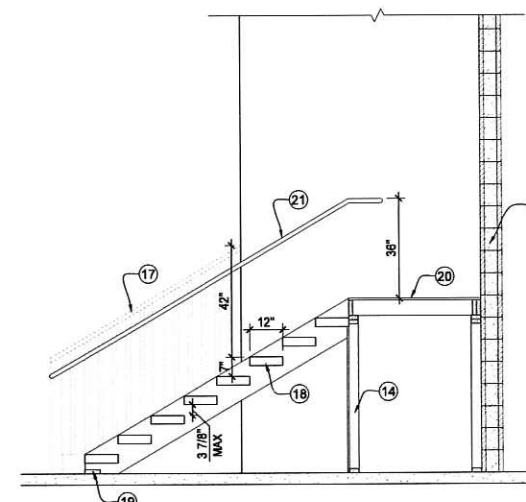
A4 SECTION
A2-01 SCALE: 1/4"=1'-0"



A5 STAIR ELEVATION
A2-01 SCALE: 1/4"=1'-0"



A6 STAIR SECTION
A2-01 SCALE: 3/8"=1'-0"



A7 STAIR SECTION
A2-01 SCALE: 3/8"=1'-0"

- REFERENCE NOTES
- (E) CONCRETE STAIR AND LANDING.
 - (E) ROOF JOISTS TO REMAIN.
 - (N) STEEL ANGLE ABOVE (N) DOOR. SEE STRUCTURAL DRAWINGS.
 - (N) H.M. DOOR AND FRAME (3'-0" X 7'-0").
 - MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS.
 - (N) 4"X12" BEAM, SEE STRUCTURAL DRAWINGS.
 - (N) 2X10 JOISTS, SEE STRUCTURAL DRAWINGS.
 - 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
 - 42" HIGH WROUGHT IRON GUARD RAIL.
 - (N) 4X4 POST.
 - (N) ELEVATED POST BASE.
 - (E) CMU WALL.
 - MATCH (E) FLASHING AND FASCIA DETAIL.
 - (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
 - (N) TREX DECKING ON 2X4 SLEEPERS OVER EXISTING ROOF.
 - (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
 - (N) 42" HIGH GUARDRAIL.
 - 3-1/8" X 12 GLULAM ATTACHED TO STAIR STRINGER W/ SIMPSON LSS9.
 - (4X) 4" ANCHORS TO CONCRETE.
 - 3/4" OSB FLOOR SHEATHING.
 - (N) STEEL HANDRAIL @ 36" HIGH, SEE DETAILS ON SHEET A1-01.
 - (E) STEEL HANDRAIL AND GUARDRAIL.

TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84105

STAMP	REVISIONS:
DATE: 06/17/14	SHEET: A2-01
ELEVATIONS AND SECTIONS SCALE: AS NOTED	

TROLLEY WING COMPANY EXTERIOR PATIO ADDITION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

SCOPE OF WORK: EXTERIOR ROOF PATIO ADDITION TO EXISTING RESTAURANT
CHANGE OF USE: NONE

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
FIRE SPRINKLER: Yes
ZONING: CB
PARKING: Existing
EXISTING BUILDING AREA: 12,716 GSF
TENANT SPACE AREA: 1,976 GSF
Occupancy Separation: Existing, Not Required

BUILDING CODE REVIEW:

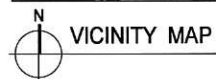
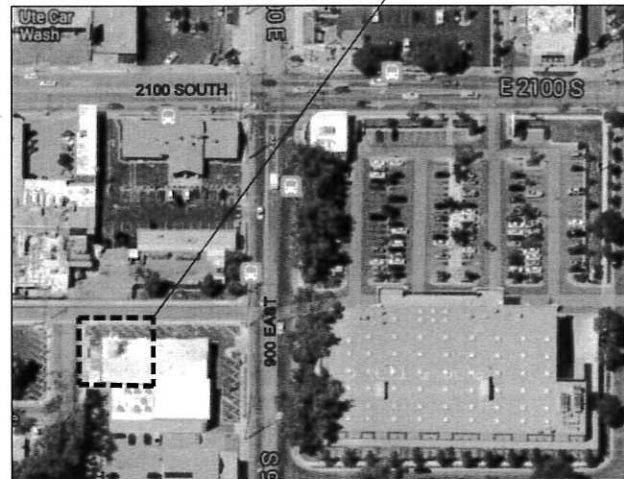
Tenant Space Area: 1976 sq. ft.
New Roof Patio Area: 480 sq. ft.
Occupant load factor: 15 SF NET / person @ ASSEMBLY
200 SF GROSS/ person @ WORK AREA & KITCHEN
Occupant load: 96 Occupants
Occupancy: A-2
Occupancy Separation: NONE
EGRESS REQUIREMENTS:
of exits required (Table 1021.2): 2 exits required w/ 200' max travel distance.
of exits provided: 2 exits provided w/ travel distance less than 200'
Door opening width required: 0.20' x 96" = 19.2"
Door opening width provided: 2 @ 3'-0" = 72"

OCCUPANT LOAD CALCULATION:

AREA	OCCUPANT
SEATING AREA: 885 SF / 15 SF PER OCC.	59
ROOF PATIO SEATING AREA: 480 SF / 15 SF PER OCC.	32
KITCHENWORK AREA: 1,000 SF / 200 SF PER OCC.	5
TOTAL OCCUPANTS	96

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES:

- a) Water Closets (Male/Female) - Required 1/1 Provided 3/3
- b) Lavatories (Male/Female) - Required 1/1 Provided 2/2
- c) Bath Tubs or Showers: 0
- d) Drinking Fountains: 2 Service Sinks: 1



SHEET INDEX

ARCHITECTURAL

SHEET	DESCRIPTION
A1-01	COVER SHEET / PROJECT DATA / INDEX FLOOR PLAN
A2-01	ELEVATION AND SECTION

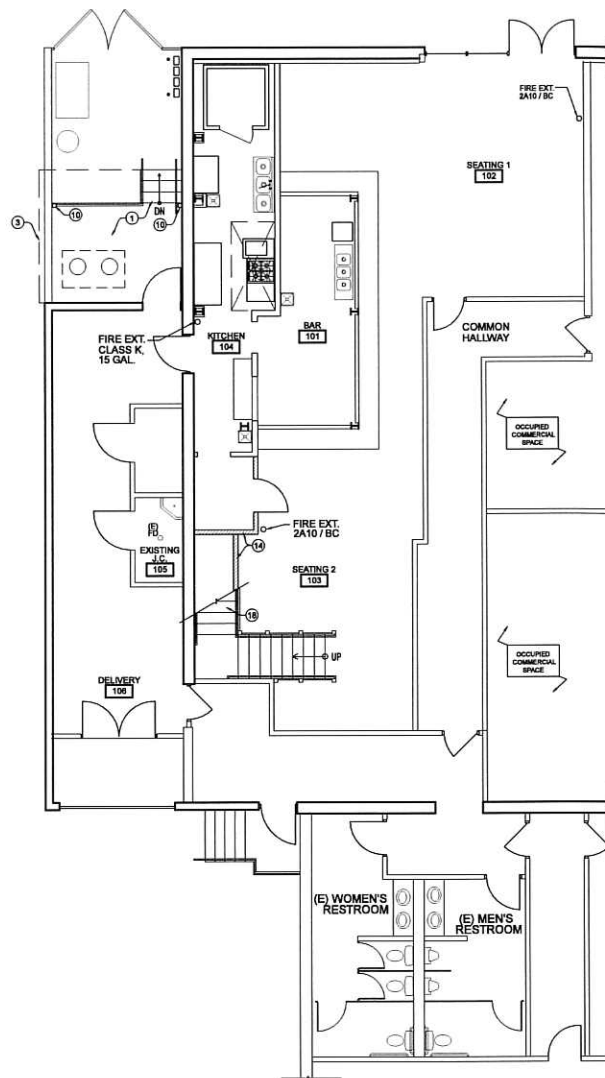
MECHANICAL

SHEET	DESCRIPTION
M201	MECHANICAL PLAN
M202	MECHANICAL ROOF PLAN

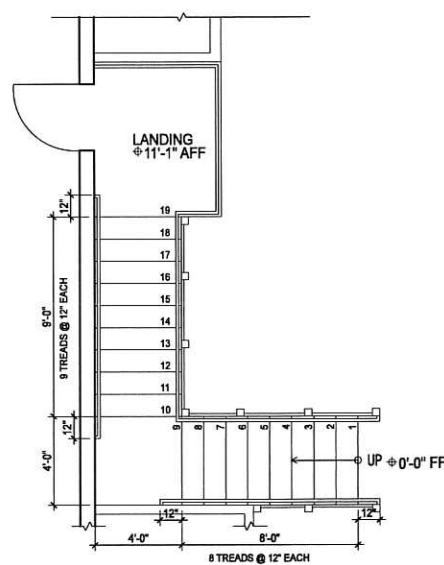
Applicable Codes:

2012 IBC	International Building Code
2012 IMC	International Mechanical Code
2012 IPC	International Plumbing Code
2011 NEC	National Electric Code
2012 IFC	International Fire Code
2009 IECC	International Energy Conservation Code
2009 IEBC	International Existing Building Code
ADA	ANSI A117.1 - 2009
Zoning Ordinance	SALT LAKE CITY Title 21 Zoning Ordinance

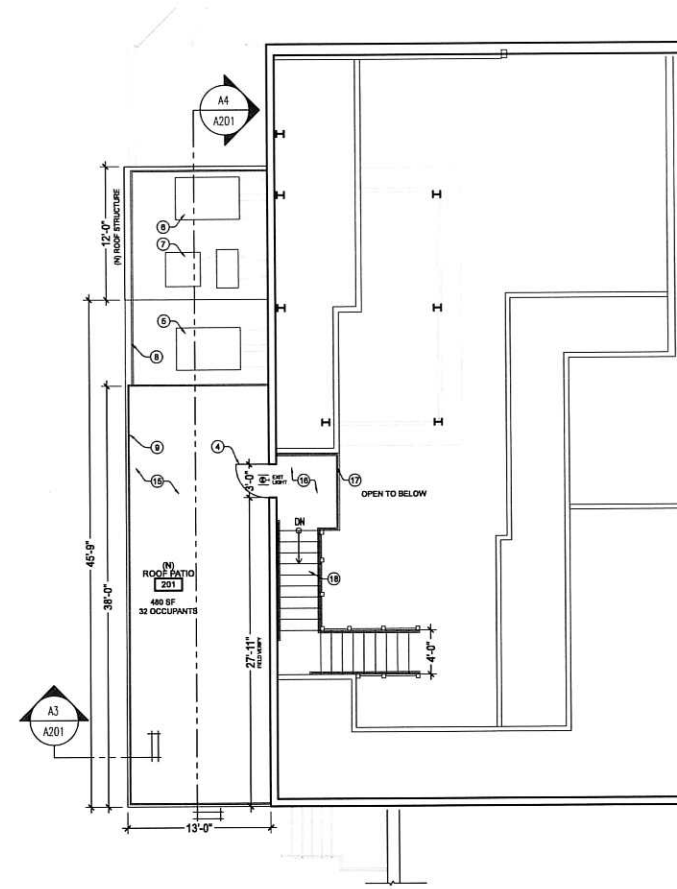
OWNER	HVAC
JESS WILKERSON 2148 South 900 East Salt Lake City, Utah 84106 Tel. (801) 599-6065	JTB Engineering, INC. 10499 S. Brooklyn View Lane Salt Jordan, Utah 84095 Tel. (801) 707-5011 Contact: Jeff Brown



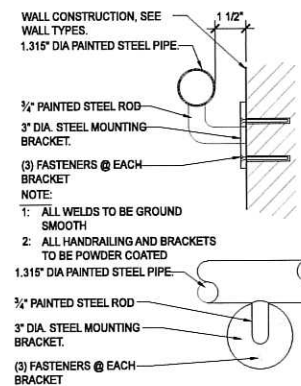
A1
A1-01
FLOOR PLAN
SCALE: 1/8"=1'-0"



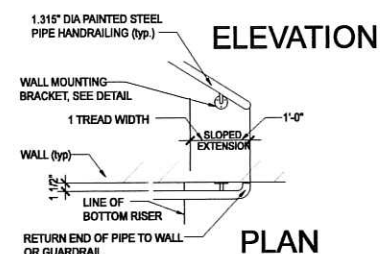
A3
A1-01
ENLARGED STAIR PLAN
SCALE: 1/4"=1'-0"



A2
A1-01
LOWER ROOF PLAN
SCALE: 1/8"=1'-0"



A4
A1-01
HANDRAIL DETAIL
SCALE: 1/8"=1'-0"



REFERENCE NOTES

- (E) CONCRETE STAIR AND LANDING.
- (E) COLUMN.
- LINE OF (N) ROOF ABOVE.
- (N) H.M. DOOR AND FRAME (3'-0" X 7'-0").
- (E) RTU TO REMAIN. SEE MECHANICAL DRAWINGS.
- (N) LOCATION OF (E) RTU. SEE MECHANICAL DRAWINGS.
- (N) LOCATION OF (E) EVAP COOLER. SEE MECHANICAL DRAWINGS.
- 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
- 42" HIGH WROUGHT IRON GUARD RAIL.
- (N) 4X4 POST.
- (N) ELEVATED POST BASE.
- (E) CMU WALL.
- (E) CONCRETE STAIR.
- (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
- (N) TREX DECKING ON 2X4 SLEEPERS OVER EXISTING ROOF.
- (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
- (N) 42" HIGH GUARDRAIL.
- (N) STAIR. SEE STAIR SECTIONS ON SHEET A2-01.

SYMBOL LEGEND

- (E) EXTERIOR WALL
- (E) INTERIOR WALL
- (N) WOOD STUDS INTERIOR WALL
- (E) EXISTING
- (N) NEW

GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS.
- ALL IMPROVEMENTS SHALL COMPLY WITH GOVERNING CODES. CONTRACTOR IS RESPONSIBLE FOR FILING FOR ALL REQUIRED PERMITS AND INSPECTIONS WITH ALL APPLICABLE AGENCIES.
- PROVIDE FIRE RETARDANT TREATED PLYWOOD BACKING FOR ALL SURFACE MOUNTED ACCESSORIES, IE: TP. HOLDER, MIRRORS, TOWEL BARS, GRAB BARS, KITCHEN EQUIPMENT, CABINETS ETC. AS REQUIRED.
- SCREW ALL SHEET ROCK. NO NAILS ALLOWED.
- IT IS BEYOND THE SCOPE OF THIS DRAWING TO SHOW ALL AND EVERY DETAIL AND ASPECT OF EXISTING CONDITIONS. CONTRACTOR SHOULD FIELD VERIFY ALL EXISTING CONDITIONS.
- IT SHALL BE THE G.C.'S RESPONSIBILITY TO PROTECT ANY AND ALL ITEMS TO REMAIN AND REPAIR OR REPLACE SUCH ITEMS SHOULD THEY GET DAMAGED BY THE CONTRACTOR'S NEGLIGENCE.
- ALL NEW DIMENSIONS ARE TO FACE OF WALL AND TO FACE OF CONCRETE BLOCK OR BRICK.
- (E) = EXISTING, (N) NEW
- COORDINATE W/ LANDLORD FOR ALL ROOF PENETRATIONS. G.C. SHALL USE LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOF MEMBRANE, PATCHES, REPAIR & PENETRATIONS.
- ALL DOOR HARDWARE SHALL BE LEVEL TYPE ADA STANDARD.

STAMP

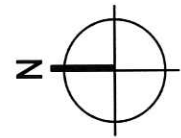
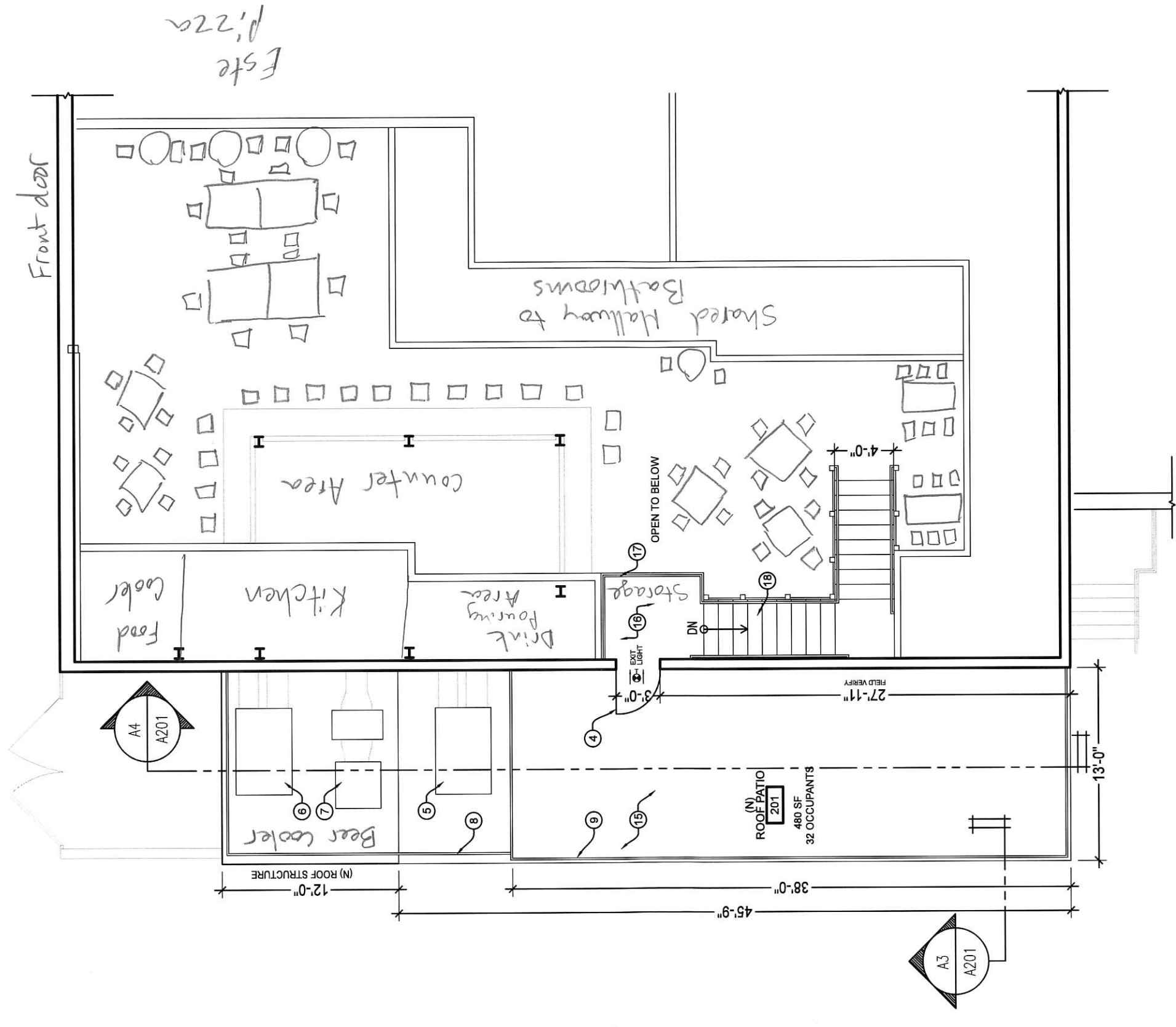
TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106

REVISIONS:

DATE:
06/17/14

COVER SHEET, PROJECT DATA, FLOOR PLAN
SCALE: AS NOTED

SHEET:
A1-01



LOWER ROOF PLAN
A2
 A1-01
 SCALE: 1/8"=1'-0"

TROLLEY WING COMPANY

CONDITIONAL USE APPLICATION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
FIRE SPRINKLER: Yes
ZONING: CB
PARKING: Existing

EXISTING BUILDING AREA: 12,716 GSF
TENANT SPACE AREA: 1,976 GSF
Occupancy Separation: Not Required

BUILDING CODE REVIEW:

Tenant Space Area: 1976 sq ft.
Roof Patio Area: 480 sq ft.
Occupant load factor: 15 SF NET / person @ ASSEMBLY
200 SF GROSS/ person @ WORK AREA & KITCHEN
Occupant load: 96 Occupants
Occupancy: A-2
Occupancy Separation: NONE

EGRESS REQUIREMENTS:

of exits required (Table 1021.2): 2 exits required w/ 200' max travel distance.
of exits provided: 2 exits provided w/ travel distance less than 200'
Door opening width required: 0.20' x 96" = 19.2"
Door opening width provided: 2 @ 3'-0" = 72"

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KITCHEN/WORK AREA: 1,000 SF / 200 SF PER OCC.	5
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- a) Water Closets (Male/Female) - Required 1/1 Provided 3/3
b) Lavatories (Male/Female) - Required 1/1 Provided 2/2
c) Bath Tubs or Showers: 0
d) Drinking Fountains: 2 Service Sinks: 1

PROJECT LOCATION

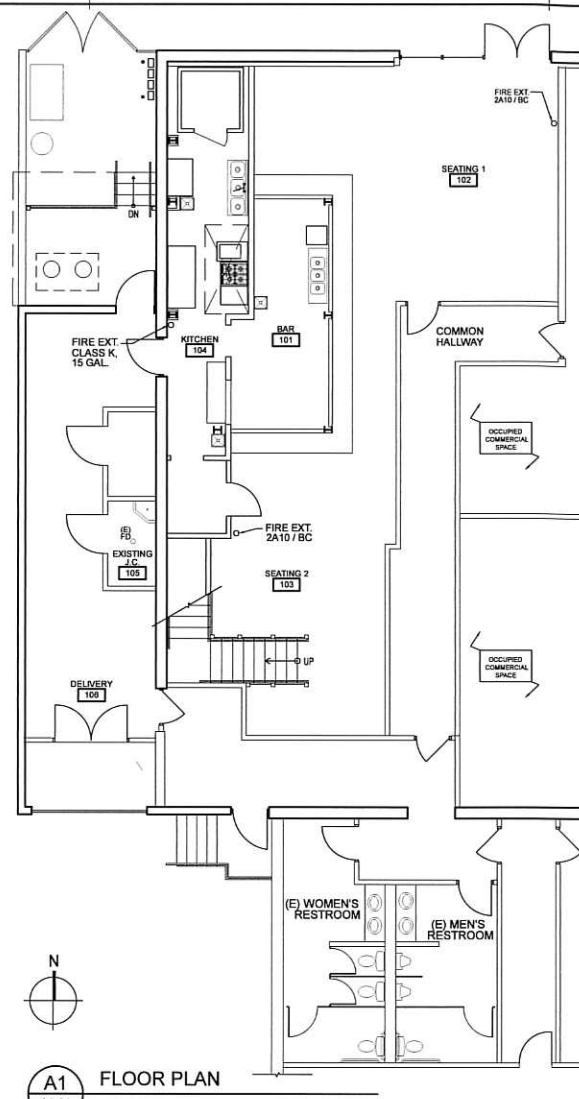


VICINITY MAP

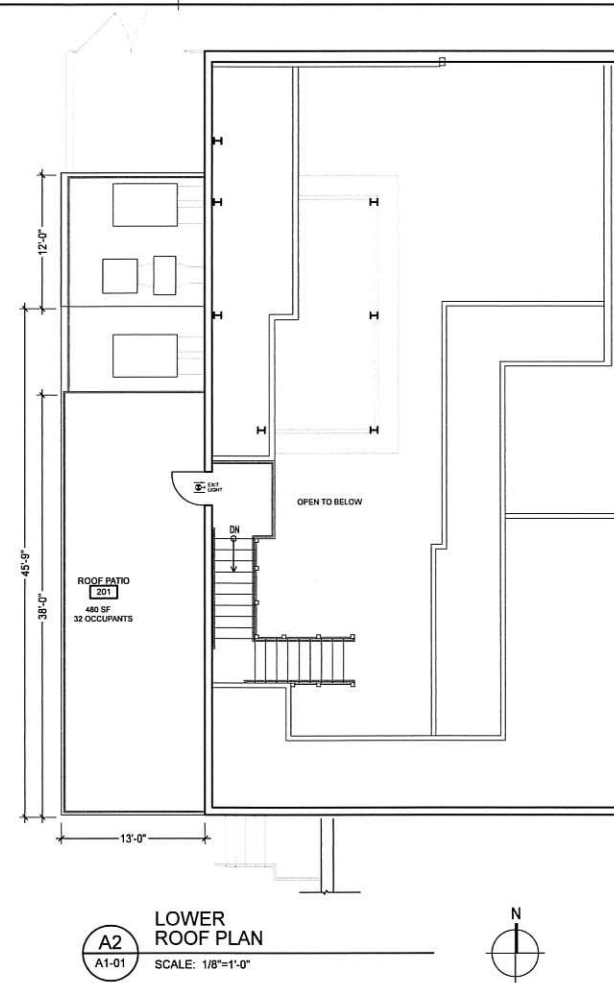
Applicable Codes:	
2012 IBC	International Building Code
2012 IMC	International Mechanical Code
2012 IPC	International Plumbing Code
2011 NEC	National Electric Code
2012 IFC	International Fire Code
2009 IECC	International Energy Conservation Code
2009 IEBC	International Existing Building Code
ADA	ANSI A117.1 - 2009
Zoning Ordinance	SALT LAKE CITY Title 21 Zoning Ordinance

OWNER

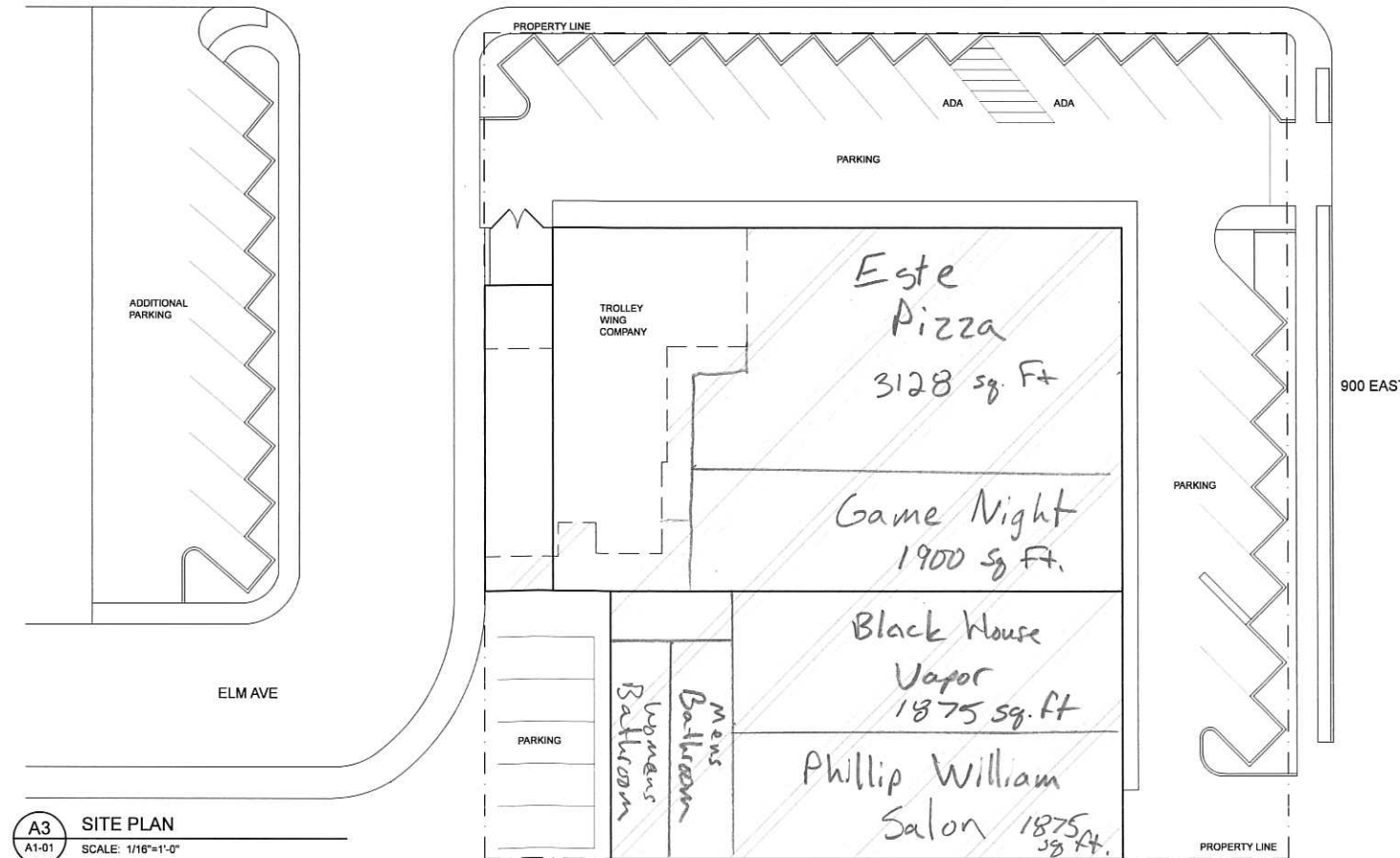
JESS WILKERSON
2148 South 900 East
Salt Lake City, Utah 84106
Tel. (801) 599-6065



A1 FLOOR PLAN
A1-01 SCALE: 1/8"=1'-0"



A2 LOWER ROOF PLAN
A1-01 SCALE: 1/8"=1'-0"



A3 SITE PLAN
A1-01 SCALE: 1/16"=1'-0"

REFERENCE NOTES

1. NOTE

SYMBOL LEGEND

- (E) EXTERIOR WALL
- (E) INTERIOR WALL
- (E) EXISTING
- (N) NEW

STAMP

REVISIONS:

PROJECT DATA, FLOOR PLAN, SITE PLAN
SCALE: AS NOTED

DATE:
02/03/16

SHEET:
A1-01

TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106

Security and Operations Plan
Trolley Wing Company
2148 South 900 East #5, Salt Lake City, UT

In accordance with Conditional Use for a “social club”

Should the Trolley Wing Company ever field a complaint; we will take action on it as soon as possible. Our company phone number is listed on the front door and there is always a manager on duty who is available to assist in solving any issue that should arise. If the manager on duty is unable to rectify the situation, he/she will bring the issue to ownership and the matter will be addressed and resolved immediately.

The owners or representatives of the Trolley Wing Company will attend any Sugarhouse Community Council meetings upon request to resolve any issues or complaints regarding our business.

The proposed social club will not exceed the permissible sound levels according to the requirements of our zoning district, as we do not provide live entertainment. Our only exterior door facing any residential structures is raised 20’ off the ground level of bar and behind any speakers.

There will not be any electronically amplified sound on the exterior of the premises for social club operations.

Our designated smoking area is located outside the front door of the club, to the east and west. This area conforms to Utah state law, and is more than 25 feet from any building entrance or exit. A waste receptacle is also available to prevent cigarette butts from being littered about.

As part of our nightly closing procedures the server/bartender/or manager on duty will perform a sweep of the exterior and collect and dispose of any trash strewn on the premises. We will also monitor the exterior and remove any graffiti from the building within 48 hours should it ever happen.

While there are two separate parking lots dedicated to our shared building to the north and west of the building, there is additional on-street parking available on Commonwealth Ave. & Elm Ave. Additionally, we have gained permission from our neighbors to use the lot south of the building as needed after 5pm and on weekends.

A copy of this plan is to be distributed to the local Fire Department, Police Department, and Sugarhouse Community Council.

Our hours of operation are currently: Monday through Saturday 11 am – 1 am. Upon being permitted a club license, we will extend our opening time from 11 am – 2 am.

Contact information for the owner of Trolley Wing Company:

Jess Wilkerson
Owner, General Manager
(801) 599-6065
jessejameswilkerson@gmail.com